

ADDITION & ALTERATION AT: SARMIENTO PROPERTY 3176 ALBANY POST ROAD BUCHANAN, NY 10511



100 EXECUTIVE BLVD. SUITE 204
OSSINGEN, NY 10562
PHONE: (518) 844-3377
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JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

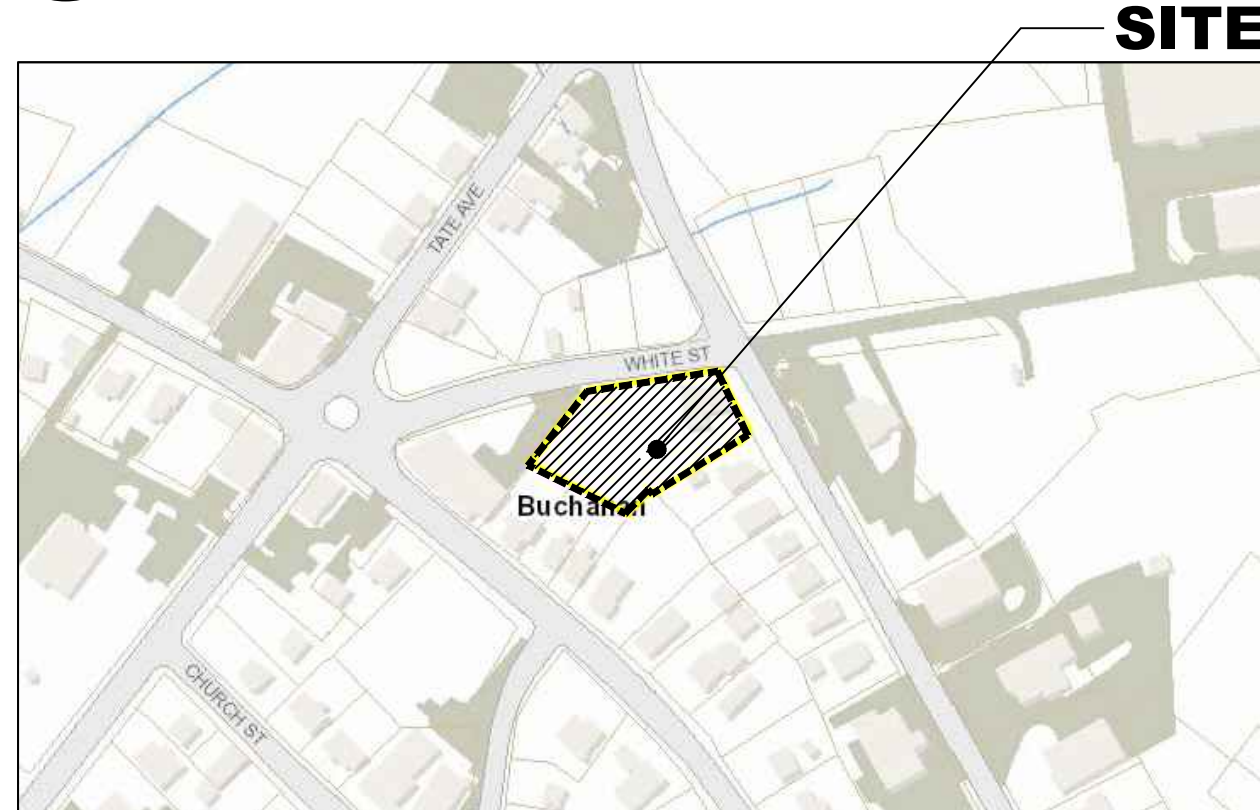
AERIAL & LOCATION MAP



SITE



NTS

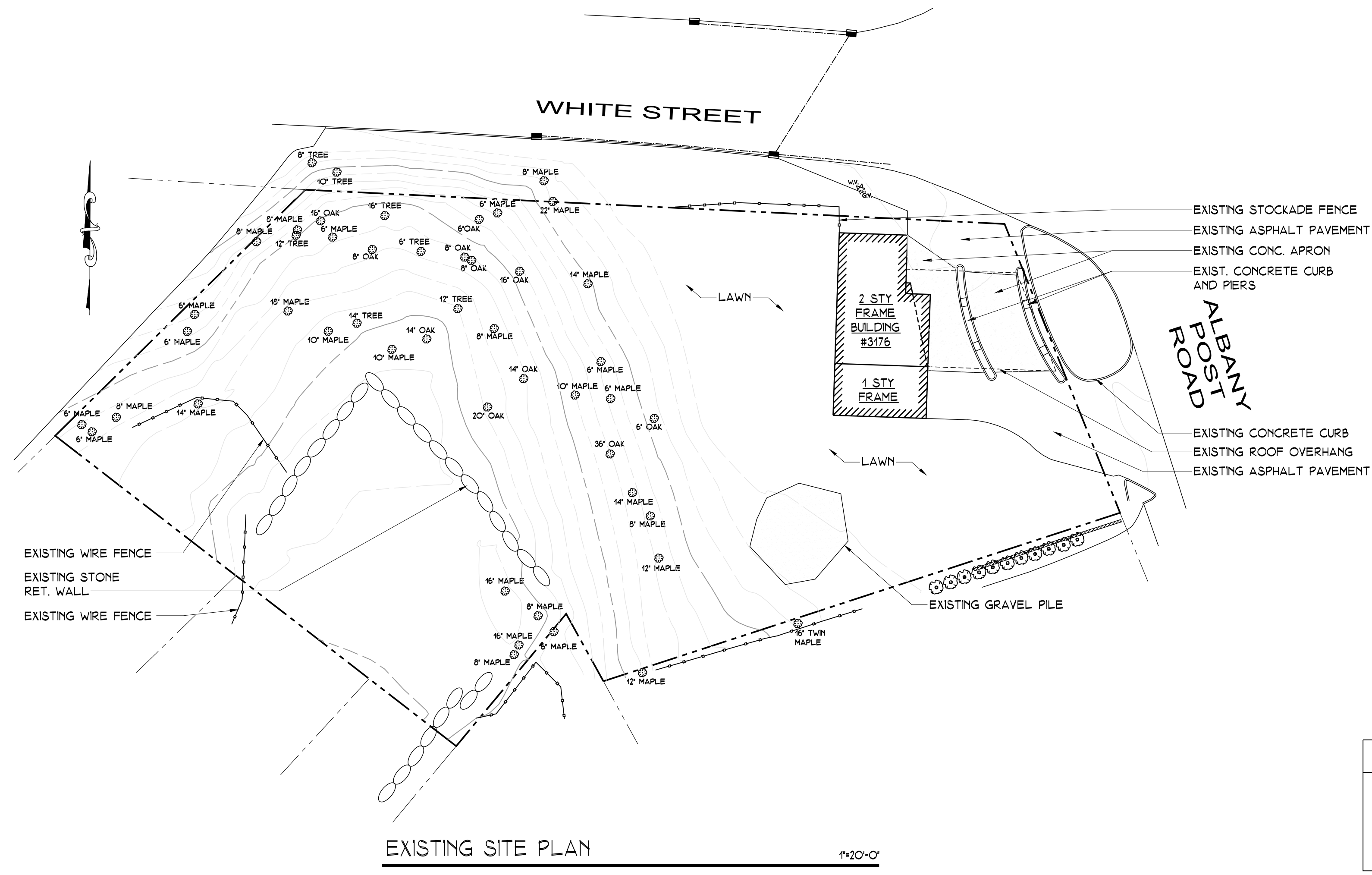


SITE



NTS

GENERAL NOTES & SPECIFICATIONS



- EXISTING STOCKADE FENCE
- EXISTING ASPHALT PAVEMENT
- EXISTING CONC. APRON
- EXIST. CONCRETE CURB AND PERS
- EXISTING CONCRETE CURB
- EXISTING ROOF OVERHANG
- EXISTING ASPHALT PAVEMENT

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NY Industrial Code Rule 753 requires no less than two working days notice, but not more than ten days notice.
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GENERAL NOTES

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CODES: ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND CODES OF AGENCIES HAVING JURISDICTION. ABSENT OTHER STANDARDS 2020 BC OF NYS WITH 2020 EBC OF NYS, 2020 FMC OF NYS AND 2020 ECC OF NYS.
VERIFICATION: VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. REPORT DIFFERENCES FROM CONSTRUCTION DOCUMENTS TO OWNER AND ARCHITECT. CLAIMS FOR EXTRA PAYMENTS RESULTING FROM CONTRACTOR'S FAILURE TO DO SO WILL NOT BE APPROVED. ARCHITECT SHALL DECIDE ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED ON THE SITE WITH THE PROJECT MANAGER, OWNER, ARCHITECT, PRIOR TO THE COMMENCEMENT OF WORK.
DRAWINGS: BY SUBMITTING A BID OR STARTING WORK, CONTRACTOR AGREES THAT HE HAS EXAMINED THE DRAWINGS AND SPECIFICATIONS AND FOUND THEM ADEQUATE FOR PROPER COMPLETION OF PROJECT. CLAIMS FOR EXTRA CHARGES BECAUSE OF ALLEGED INADEQUATE DRAWINGS OR SPECIFICATIONS WILL NOT BE ALLOWED UNLESS NOTIFICATION WAS MADE IN WRITING TO ARCHITECT PRIOR TO SUBMISSION OR BEGINNING.
CONTRACTS: AIA DOCUMENTS A105 AND A205, STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR, AND GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION-1993 SMALL PROJECTS EDITIONS.
UTILITY STAKEOUT: PRIOR TO DEMOLITION OR EXCAVATION, CONTRACTOR SHALL REQUEST FOR A CODE 53 UNDERGROUND UTILITY STAKE-OUT. 1-800-962-7962. CONTRACTOR WILL CONTACT THE UNDERGROUND LINES LOCATION SERVICES (CODE 759) PRIOR TO COMMENCING CONSTRUCTION.
USE OF PREMISES: CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES.
PERMITS: OWNER SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND CERTIFICATES REQUIRED. ELECTRICAL AND PLUMBING CONTRACTORS SHALL APPLY FOR AND PAY FOR INDIVIDUAL PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED. KEEP APPROVED PERMIT DRAWINGS ON JOB SITE.
CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
LICENSE: CONTRACTOR MUST BE LICENSED BY WESTCHESTER COUNTY AND PROVIDE OWNER AND BUILDING DEPARTMENT A COPY OF CERTIFICATE NUMBER.
INSURANCE: PRIOR TO STARTING WORK, CONTRACTOR SHALL SUPPLY OWNER AND BUILDING DEPARTMENT WITH CERTIFICATES OF WORKMENS COMPENSATION INSURANCE, LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN THE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER TO RENDER THE OWNER HARMLESS IN CASE OF ACCIDENT TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONSTRUCTION.
LATENT DEFECTS: NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE FOR LATENT DEFECTS IN STRUCTURE IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL PROBING OR TESTING.
SUPERVISION: ARCHITECT HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE OBSERVATION AND SUPERVISION OF CONSTRUCTION OPERATIONS AND CERTIFICATION OF PAYMENTS.
DEMOLITION:
PRIOR TO DEMOLITION COORDINATE AND STAKEOUT EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES.
1. CLEAR SITE AS REQUIRED.
2. REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY. CONTRACTOR SHALL PAY FOR ALL NECESSARY DUMPSTERS AND CARTING FEES.
COOPERATION: CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ADJACENT WORK AND COOPERATE WITH OTHER TRADES TO FACILITATE PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR TEMPORARY STORAGE OF THEIR TOOLS AND MATERIALS.
LANDSCAPE: ALL LAWN AREAS DAMAGED BY NEW CONSTRUCTION OR CONSTRUCTION OPERATIONS SHALL BE REPLACED AS ORIGINAL. LAWNS MAY BE SODDEN OR SEEDED WITH BLUEGRASS AND/OR RYEGRASS TO ESTABLISH 98% OR BETTER COVER. REMOVE TREES AND SHRUB REMOVAL REQUIRED FOR CONSTRUCTION WITH OWNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TYING UP PLANT MATERIAL IN THE WAY OF SITE ACCESS PRIOR TO CONSTRUCTION.
SEDIMENT AND EROSION CONTROL: SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN EACH AREA BEFORE ANY DEMOLITION AND ANY SUBSTANTIAL AMOUNT OF SITE PREPARATION, CLEARING AND GRUBBING, EXCAVATION AND FILLING SHALL BE STARTED.
ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WESTCHESTER COUNTY PUBLICATION BEST MANAGEMENT PRACTICES MANUAL-CONSTRUCTION RELATED ACTIVITIES, LATEST EDITION.
ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO ENSURE THEIR PROPERLY FUNCTIONING.
EROSION BLANKET SHALL BE WENCO TEX EROSION CONTROL MATS 6.3MM WT 400P OR EQUAL APPROVED. INSTALL AS PER MANUFACTURER SPEC'S.

SPECIFICATIONS

SPECIFICATIONS

RAIN LEADER DRAINS: 6" DIAM. SOLID HOPE SCHEDULE 35 PIPE.
EXCAVATION: EXCAVATION SHALL BE PROTECTED FROM FROST DURING COLD WEATHER. DO NOT BACKFILL AGAINST FOUNDATION WALLS OR PLACE HEAVY EQUIPMENT CLOSER THAN 8' FROM WALLS BEFORE FIRST FLOOR FRAMING IS IN PLACE.
FOUNDATIONS: ALL FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED SOIL HAVING A MINIMUM DESIGN BEARING PRESSURE OF 4000_{psf}. EXCAVATE A MINIMUM OF 2'-0" INTO EXISTING SOIL. NOTIFY ARCHITECT IN SUFFICIENT TIME TO INSPECT BEARING MATERIAL PRIOR TO PLACING FOUNDATION CONCRETE. CONTINUOUS FOOTINGS MAY BE STEPPED WHERE NECESSARY, BUT NO MORE THAN ONE (1) FOOT VERTICALLY TO TWO (2) FEET HORIZONTALLY. MAINTAIN A MINIMUM COVER OVER FOUNDATION BOTTOMS OF 3'-6".
CONCRETE AND MASONRY: CALCIUM CHLORIDE OR ANY ADMIXTURE CONTAINING CHLORINE SALTS, SHALL NOT BE USED IN ANY CONCRETE. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED. BRACING: PROVIDE ADEQUATE TEMPORARY SUPPORT AT ALL TIMES.
CONCRETE: STONE AGGREGATE, 4000_{psi} STRENGTH AT 28 DAYS.
ROD REINFORCEMENT: ASTM A 615 GRADE 60.
VAPOR BARRIER: 5mil PVC WITH 6" SEALED LAP JOINTS.
SILL SEALER: 1" COMPRESSIBLE FIBERGLASS.
SILL ANCHOR: 1/2" DIAMETER, 12" LONG, 3" HOOK, 6" ON CENTER MAXIMUM; 1" MAXIMUM FROM CORNERS & ENDS.
MORTAR: TYPE 'S', 1800 _{psi} STRENGTH.
WATERPROOFING: 'SONOSHEILD HML 5000' OR EQUAL. LIQUID COLD-APPLIED WATERPROOFING MEMBRANE.
CARPENTRY:
CARPENTRY: DOUBLE JOISTS UNDER ALL INTERIOR PARTITIONS, AND AROUND ALL OPENINGS.
FRAMING LUMBER: DOUGLAS FIR #2 OR BETTER, F#975 _{psi}.
STUDS: DOUGLAS FIR STUD GRADE, 2x4 INTERIOR WALLS, 16'O.C. UNLESS NOTED OTHERWISE.
JOIST HANGERS: 'SMIPSON' OR EQUAL, GALVANIZED STEEL TO FIT FRAMING MEMBER. INSTALL FRAMING ANCHORS AT ALL FLUSH FRAMED CONNECTIONS AND AS INDICATED ON PLANS.
TREATED WOOD: PRESSURE TREATED SOUTHERN YELLOW PINE, ABOVEGROUND 25 _{lbs/cuft}. GROUND CONTACT, 40 _{lbs/cuft}.
DECKING FRAMING LUMBER: SOUTHERN YELLOW PINE #1 UP TO 2" THICK; #2 FOR ALL OTHER. ALL LUMBER SHALL BE PRESSURE TREATED MINIMUM .04 _{lb/cuft}, F#1500_{psi} (2x10), F#1750_{psi} (2x8).
DECKING: 5/4x4 T&G MAHOGANY DECKING. FINISH WITH 2 COATS OF OIL BASED STAIN PRESERVATIVE.
DECK HANDRAIL AND POST ASSEMBLY: WESTERN CEDAR-CLEAR, PAINTED.
INTERIOR FINISHES
WALLS: 1/2" GYPSUM DRYWALL, 3/8" TYPE 'X' AT GARAGE. JOINTS TAPED AND FINISHED.
CEILING: 1/2" GYPSUM DRYWALL, 3/8" TYPE 'X' AT GARAGE.
PROVIDE 5/8" TYPE-X FIRE-RATED GYPSUM DRYWALL OVER BOILER AND HW TANK.
PAINTING: BENJAMIN MOORE & CO. OR EQUAL; COLORS SELECTED BY OWNER. PRIME AND PAINT ALL NEW INTERIOR TRIM, CASINGS, MOULDINGS, DOORS, WINDOWS, ETC. PRIME AND PAINT ALL NEW DRYWALL SURFACES.
INTERIOR TRIM: PROFILES, SPECIES AND FINISH TO BE SELECTED BY OWNER.
WINDOWS: 'ANDERSEN' 400 SERIES VINYL CLAD WOOD WINDOWS WITH HIGH-PERFORMANCE LOW-E INSULATING GLASS, AND INSECT SCREENS, STANDARD HARDWARE, AS SCHEDULED. PRIME AND APPLY TWO FINISH COATS PAINT TO INTERIOR SASH AND FRAME.
CAULK: SILICON SEALANT WITH COLOR TO MATCH ADJACENT SURFACES.
FLASHING: 16oz. COPPER, OR EQUAL.
DOORS:
INTERIOR DOORS: TO BE SELECTED BY OWNER.
DOOR HARDWARE: AS MANUFACTURED BY 'SCHLAGE' OR EQUAL.
ELECTRICAL: THE DESIGN AND INSTALLATION OF ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NATIONAL ELECTRIC CODE. PROVIDE OWNER/BUILDER COPY OF UNDERWRITER'S CERTIFICATE UPON COMPLETION OF WORK. ELECTRICAL CONTRACTOR MUST BE INSURE AND LICENSED IN WESTCHESTER COUNTY.
SEE PLAN FOR FIXTURE TYPE, REVIEW ALL FIXTURES WITH OWNER BEFORE ORDERING.
PLUMBING: THE DESIGN AND INSTALLATION OF ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NEW YORK STATE BUILDING CODE. REPRESENTATIVE CONTRACTOR MUST BE INSURED AND LICENSED IN WESTCHESTER COUNTY, NY. INSULATE ALL HOT WATER SUPPLY PIPES LOCATED IN BASEMENT FROM BOILER TO FIRST FLOOR PENETRATIONS.
UTILITIES: COORDINATE THE LOCATION AND SIZE OF ALL NEW UTILITIES (ELECTRICAL, GAS, WATER, SEWER, TELEPHONE, CABLE) WITH EACH UTILITY COMPANY REPRESENTATIVE AND UTILITY SPECIFICATIONS.

DRAWING TITLE:
TITLE SHEET

PROJECT:
ADD. & ALTERATION
AT: SARMIENTO PROP.

PROJECT ADDRESS:
3176 ALBANY POST RD.
BUCHANAN, N.Y. 10511

DOB EXAMINER SIGNATURE:

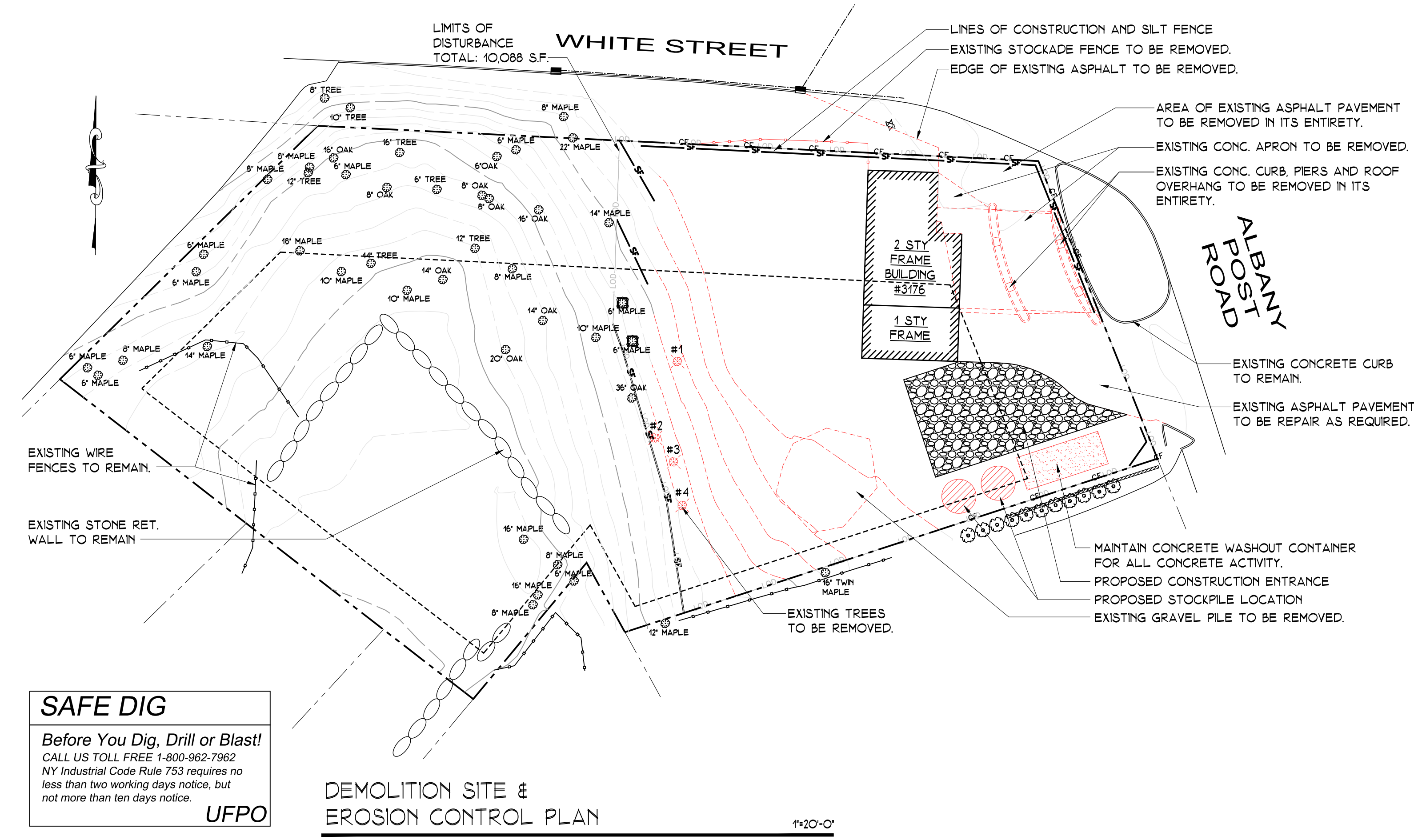
DOB BSCAN STICKER:

SEAL & SIGNATURE



DATE: 11/19/2020
PROJECT NO: 20-117
DRAWING BY: ARQ
CHECKED BY: JBH
DWG. NO: T-1
CAD FILE NO: 1 OF 11

DEMOLITION SITE & EROSION CONTROL PLAN



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DEMOLITION SITE & EROSION CONTROL PLAN

LEGEND & TREE REMOVAL TABLE

LEGEND

- PROPERTY LINE
- ▨ EXISTING BUILDING
- EXISTING GENERAL SITE
- EXIST. GENERAL SITE TO BE REMOVED
- EXISTING CATCH BASIN
- ⊙ EXISTING PLANTING TO REMAIN
- ⊗ EXISTING PLANTING TO BE REMOVED
- EXISTING FENCE TO REMAIN
- EXISTING FENCE TO BE REMOVED
- LIMIT OF DISTURBANCE
- CONSTRUCTION FENCE
- SILT FENCE
- MAJOR CONTOUR
- MINOR CONTOUR

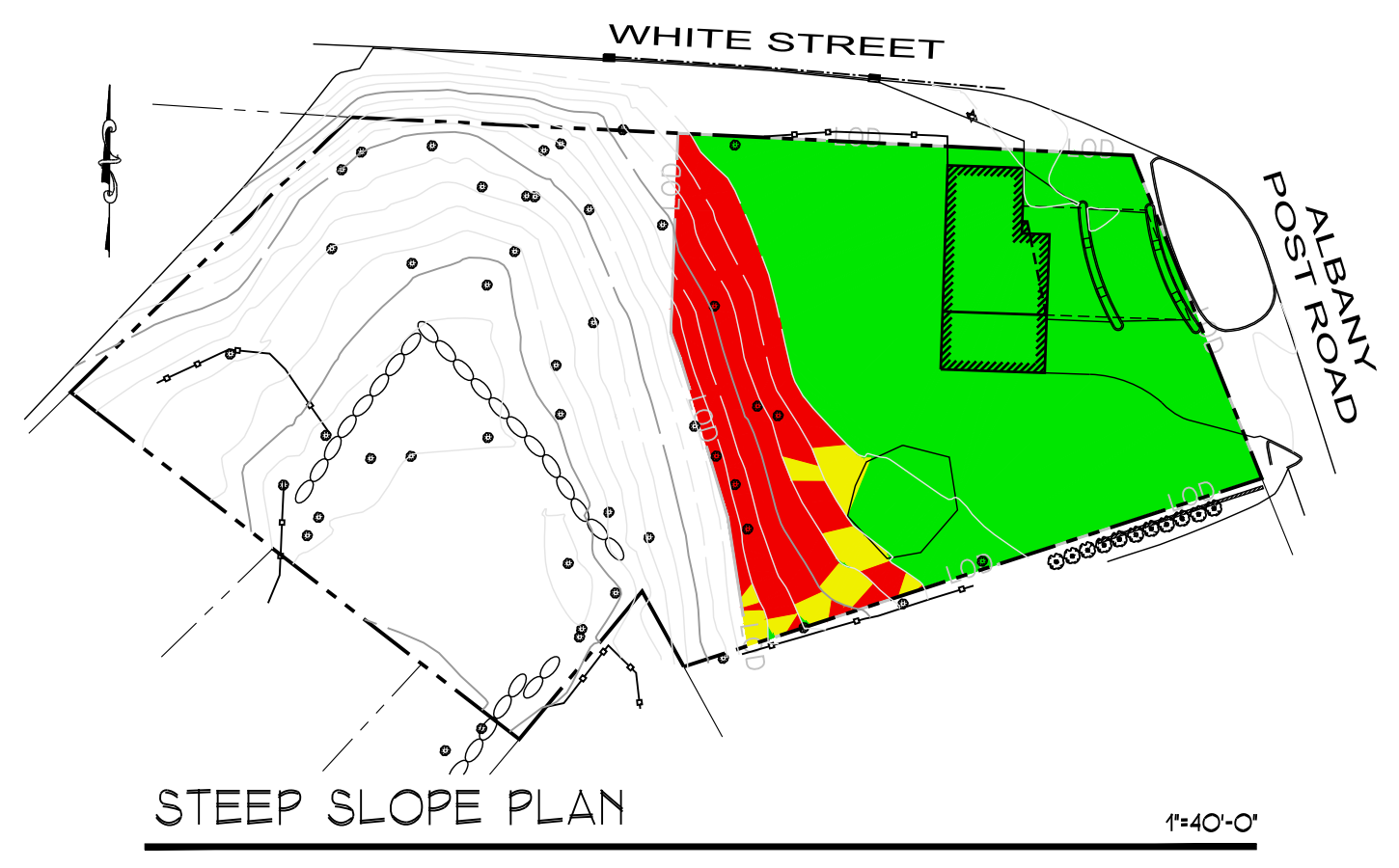
TREE REMOVAL TABLE

REF. #	TYPE OF TREE	DBH	REASON CODE
1	OAK	6"	3
2	MAPLE	14"	2
3	MAPLE	8"	2
4	MAPLE	12"	2
TOTAL NUMBER OF TREES TO BE REMOVED			

REASON

- 1) CONSTRUCTION ACTIVITY AREA
- 2) NEW RETAINING WALL AREA
- 3) NEW DRIVEWAY/PARKING AREA
- 4) OTHER

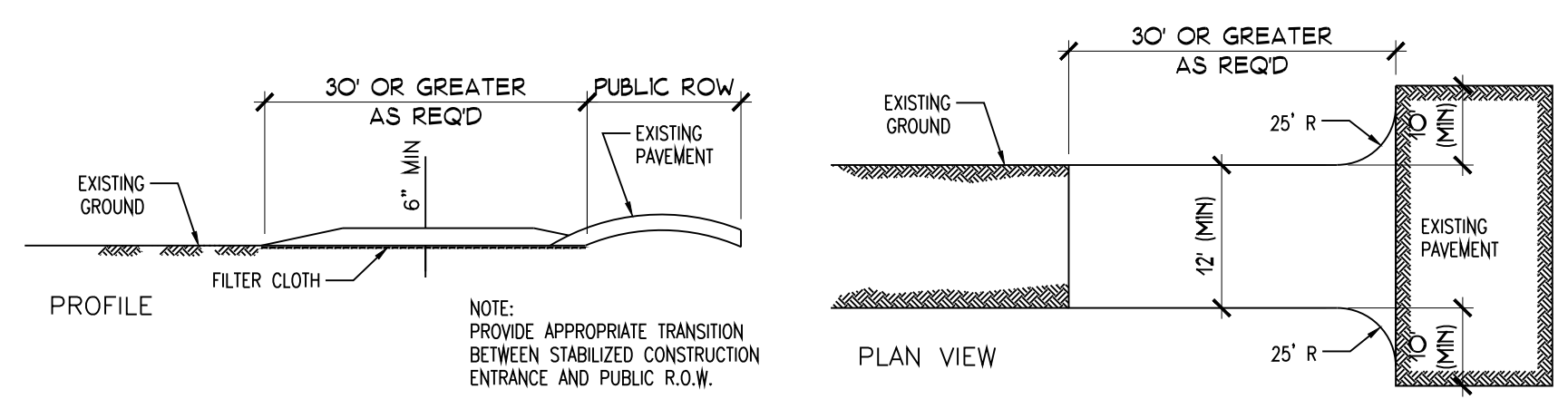
LEGEND & STEEP SLOPE ANALYSIS TABLE



STEEP SLOPE ANALYSIS (SQUARE FEET)

COLOR	LOT AREA	DISTURBANCE AREA
0% TO 15%	11545 S.F.	7,574 S.F.
15% TO 30%	1954 S.F.	404 S.F.
30% +	8,593 S.F.	2,110 S.F.
TOTAL	22,092 S.F.	10,088 S.F.

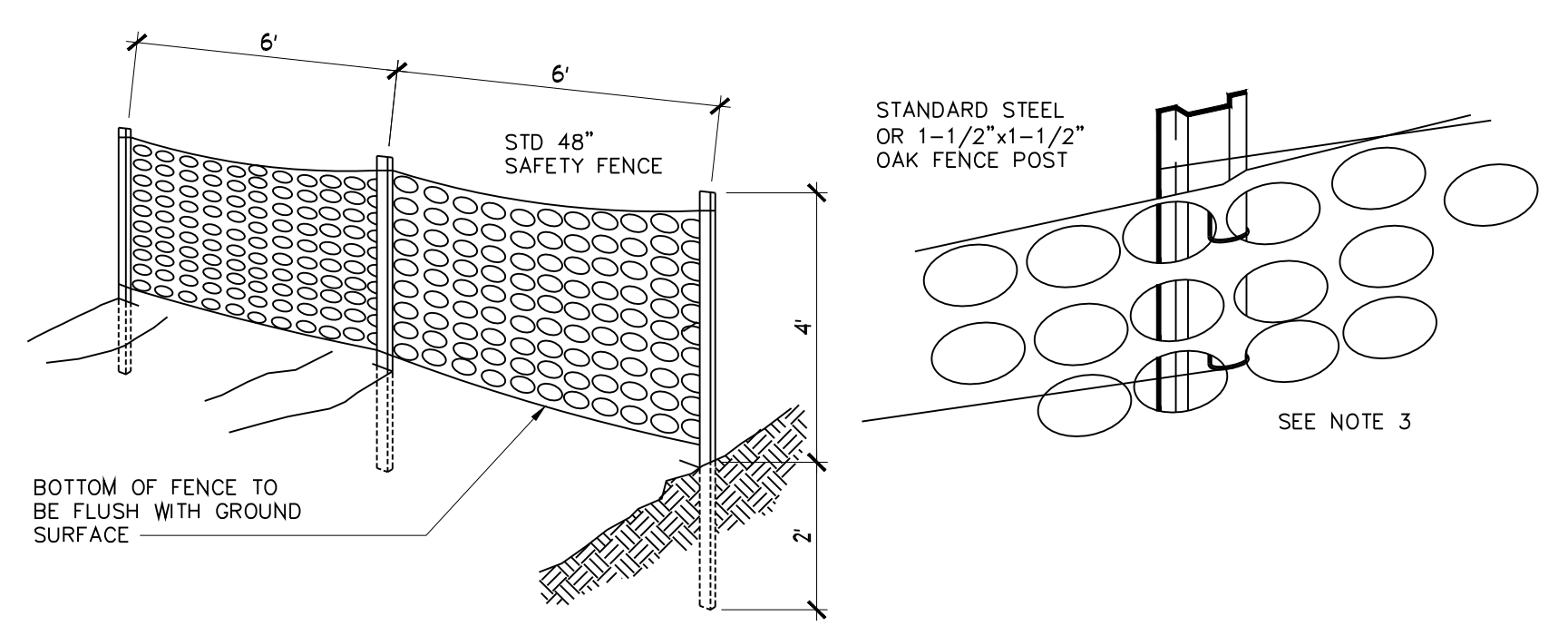
EROSION CONTROL DETAILS



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SIGHT.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

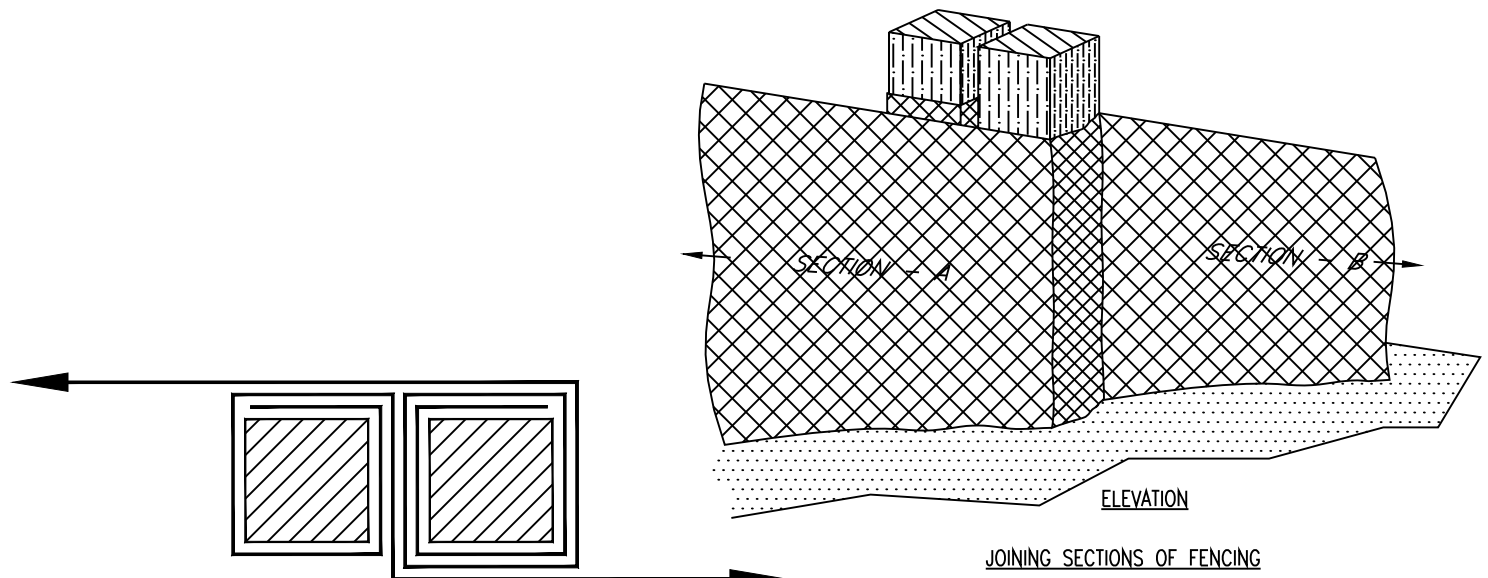
STABILIZED CONSTRUCTION ENTRANCE NTS



CONSTRUCTION SPECIFICATIONS

1. SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
2. DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WIRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
5. PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADPI ENTERPRISES, INC. OR APPROVED EQUAL.

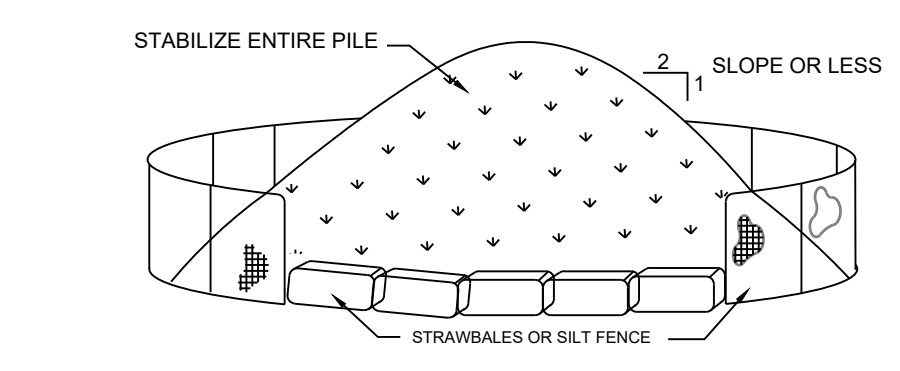
CONSTRUCTION FENCE DETAIL NTS



CONSTRUCTION SPECIFICATIONS:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1 1/2" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVENLY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100K, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOPAB, ENVIROFENCE, OR APPROVED EQUIVALENT
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

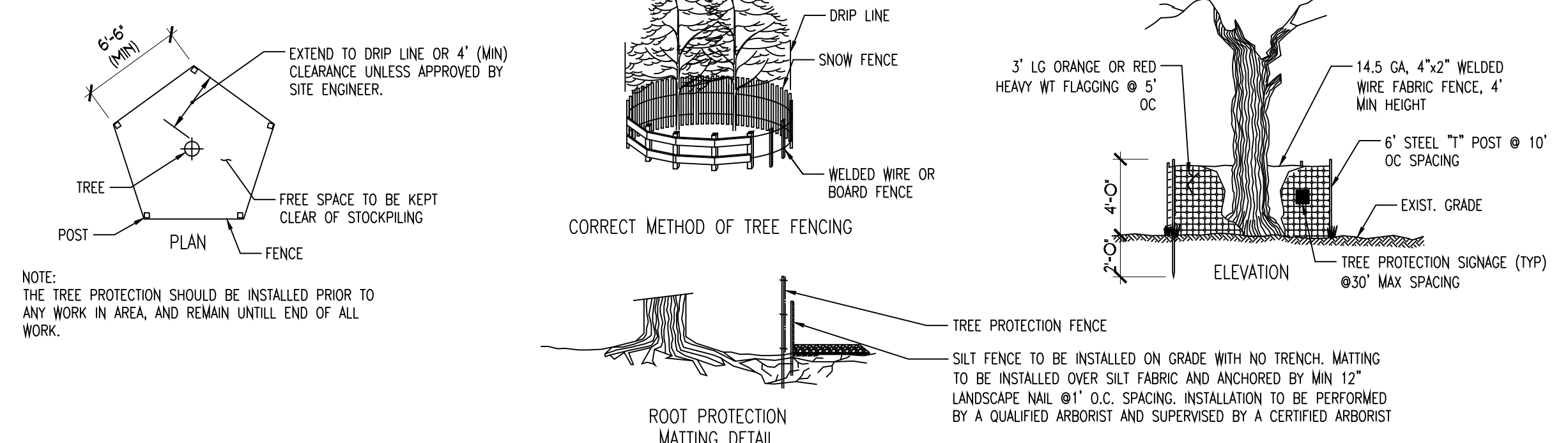
SILT FENCE DETAIL NTS



INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILING SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED BY SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (EROSION CONTROL) FOR INSTALLATION OF SILT FENCE WITH VEGETATION OR COVER.

SOIL STOCKPILING DETAIL NTS



CONSTRUCTION SPECIFICATIONS:

1. TREE PROTECTION AREA WILL BE DETERMINED AS PART OF THE PLAN REVIEW PROCESS. EXACT LOCATION, DEPTH AND METHODS OF ROOT PRUNING TO BE DETERMINED IN FIELD BY PROJECT FORESTER.
2. EXACT LOCATION OF TREE PROTECTION AREAS SHALL BE STAKED OR FLAGGED PRIOR TO TRENCHING.
3. TRENCH SHOULD BE BACKFILLED IMMEDIATELY OR INCORPORATED WITH SILT FENCE INSTALLATION.
4. ROOTS SHOULD BE SEVERED BY TRENCHER, VIBRATORY FLOW OR APPROVED EQUIVALENT. ROOTS OVER 1.5" DIAMETER SHOULD BE CLEANLY CUT BY HAND. ROOT PRUNING ADJACENT TO SPECIMEN TREES MAY REQUIRE SOIL REMOVAL BY SUPERSONIC AIR TOOL TO MINIMIZE TREE AND ROOT IMPACTS.

TREE/VEGETATION PROTECTION BARRIER NTS

- EROSION AND SEDIMENT CONTROL NOTES**
1. CONTRACTOR SHALL NOTIFY TOWN BUILDING DEPARTMENT OF START-UP DATE AT LEAST 5 DAYS PRIOR TO START OF ANY WORK.
 2. PRIOR TO THE START OF CONSTRUCTION, EROSION CONTROL DEVICES SHALL BE IN PLACE AS SHOWN ON THESE PLANS, CONTRACTOR SHALL NOTIFY THE TOWN BUILDING DEPARTMENT FOR AN INSPECTION AT LEAST 2 DAYS PRIOR TO COMPLETION OF THE INSTALLATION.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
 5. THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
 6. CONTRACTOR SHALL INSPECT EROSION CONTROL DEVICES AFTER EACH RAINFALL AND THEY SHALL BE CLEANED, REPAIRED OR REPLACE AS NECESSARY. INSPECTION SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE TOWN ENGINEER.
 7. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
 8. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
 9. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
 10. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL
 11. AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
 13. SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
 14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL"
 15. THE ENGINEER MAY AT HIS DISCRETION REQUIRE ADDITIONAL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO MITIGATE UNFORESEEN EROSION AND SILTATION.



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JORGE B. HERNANDEZ R.A. A.I.A.
 LICENSE NUMBER: 030424-1
 CERTIFICATE NUMBER: 0973256

REVISIONS

REVISIONS	DATE	BY
P.B. COMMENTS	8/4/2021	ARQ.
COORDINATION	10/13/2023	ARQ.
B.D. COMMENTS	11/13/2023	ARQ.

DRAWING TITLE:
 DEMOLITION SITE & EROSION CONTROL PLAN, LEGENDS, TABLE & EROSION CONTROL DETAILS

PROJECT:
 ADD. & ALTERATION AT: SARMIENTO PROP.

PROJECT ADDRESS:
 3176 ALBANY POST RD.
 BUCHANAN, N.Y. 10511

DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

SEAL & SIGNATURE



DATE: 11/19/2020

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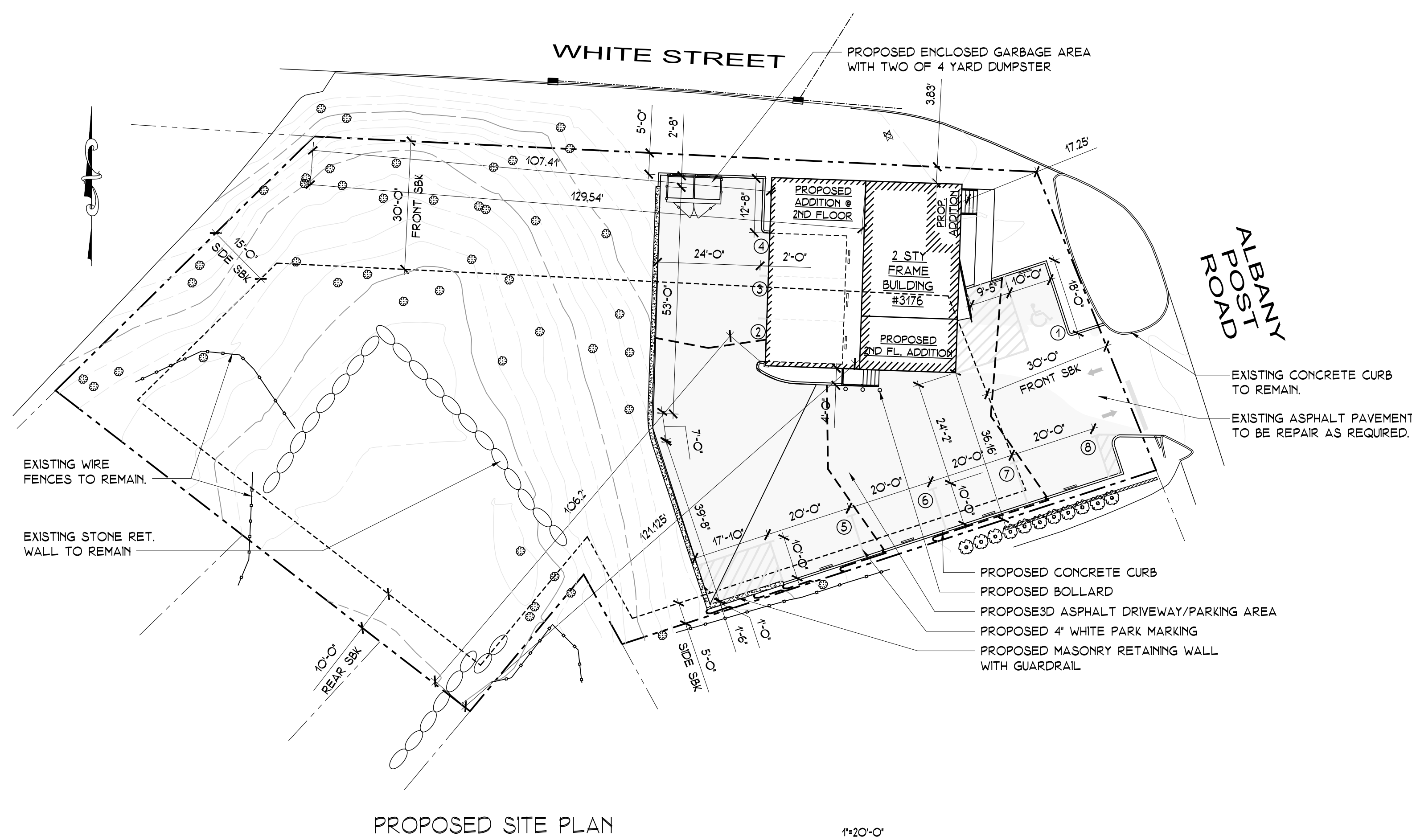
DWG. NO: D-1

DRAWING BY: ARQ

CHECKED BY: JBJ

CAD FILE NO: 2 OF 11

PROPOSED SITE PLAN



LEGEND, ZONING DATA

ZONING DATA - VILLAGE OF BUCHANAN

TAX MAP DESIGNATION: SECT: 43.16 BLOCK: 2 LOT: 11
 ZONING DISTRICT: C-1 NEIGHBORHOOD COMMERCIAL DISTRICT

	REQUIREMENTS	EXISTING	PROPOSED LOT #1	VARIANCE
LOT AREA	SQ. FT. 10,000	22,092	N.C.	NO
MINIMUM LOT WIDTH	FEET 75.0'	117.16'	N.C.	NO
MINIMUM LOT FRONTAGE	FEET 75.0'	13.83'	N.C.	E.N.C.
MINIMUM LOT DEPTH	FEET 100.0'	118.75'	N.C.	NO
MIN. FRONT YARD SETBACK @ ALBANY POST ROAD	FEET 30.0'	17.25'	N.C.	E.N.C.
MIN. FRONT YARD SETBACK @ WHITE STREET	FEET 30.0'	3.83'	N.C.	E.N.C.
MIN. SIDE YARD SETBACK	FEET 5.0'	36.16'	N.C.	NO
MIN. BOTH SIDE YARD SETBACK	FEET 15.0'	165.7'	143.57'	NO
MIN. REAR YARD SETBACK	FEET 30.0'	121.125'	106.2'	NO
MAX. BUILDING HEIGHT	FT/STY. 35/2.5	EX/2.5	32.5/2.5	NO
MAX. LOT COVERAGE	% 50%	13%	40%	NO

EX. = EXISTING
 N.C. = NO CHANGE
 E.N.C. = EXISTING NON-COMPLIANT

MINIMUM OFF STREET PARKING SPACES:
 RESIDENCE (2 PARKING SPACES FOR EACH DWELLING UNIT.)
 REQUIRED: 4 PARKING SPACES
 STORE (1 PARKING SPACES FOR EACH 250 S.F. OF GROSS FLOOR AREA)
 REQUIRED: 910 S.F. (STORE/OFFICE) / 250 S.F. = 3.64 = 4 PARKING SPACES
 TOTAL REQUIRED: 8 PARKING SPACES
 TOTAL PROVIDED: 8 PARKING SPACES

MIXED USE:
 COMMERCIAL: RETAIL: 1,062 S.F.
 STORAGE: 872 S.F.
 TOTAL: 1,934 S.F. 48%
 RESIDENTIAL: 2 APARTMENTS: 1,782 S.F. 44%
 COMMON AREA: STAIR SHAFT: 306 S.F. 8%
 TOTAL OF ENTIRE BUILDING: 4,022 S.F. 100%



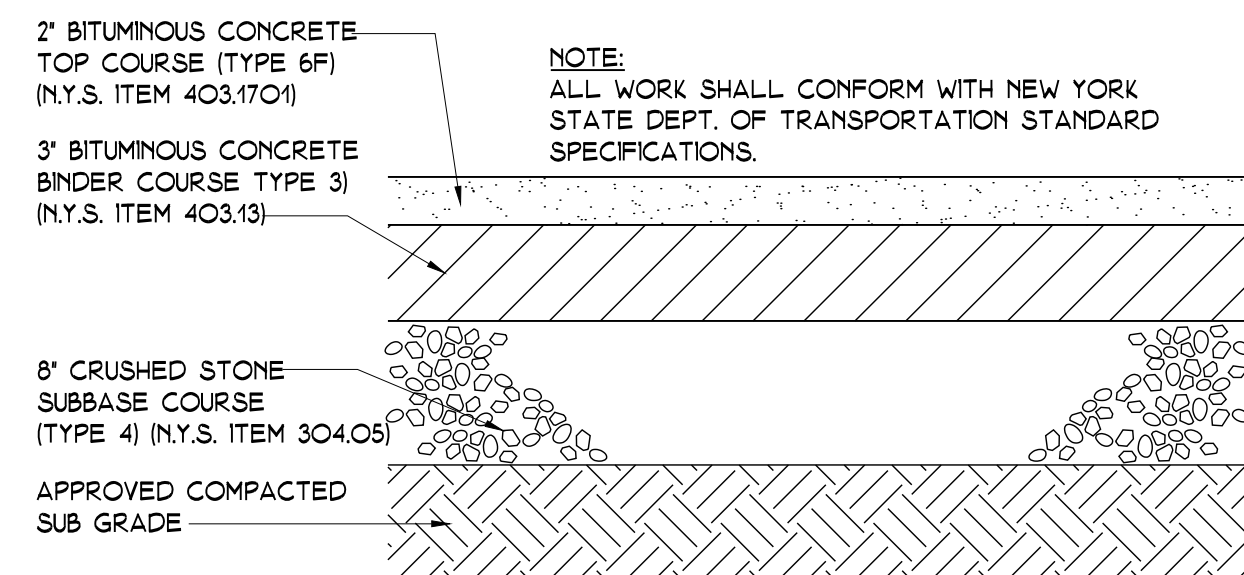
100 EXECUTIVE BLVD. SUITE 204
 OSSING, NY 10562
 PHONE: (914) 944-3377
 FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.
 LICENSE NUMBER: 030424-1
 CERTIFICATE NUMBER: 0973266

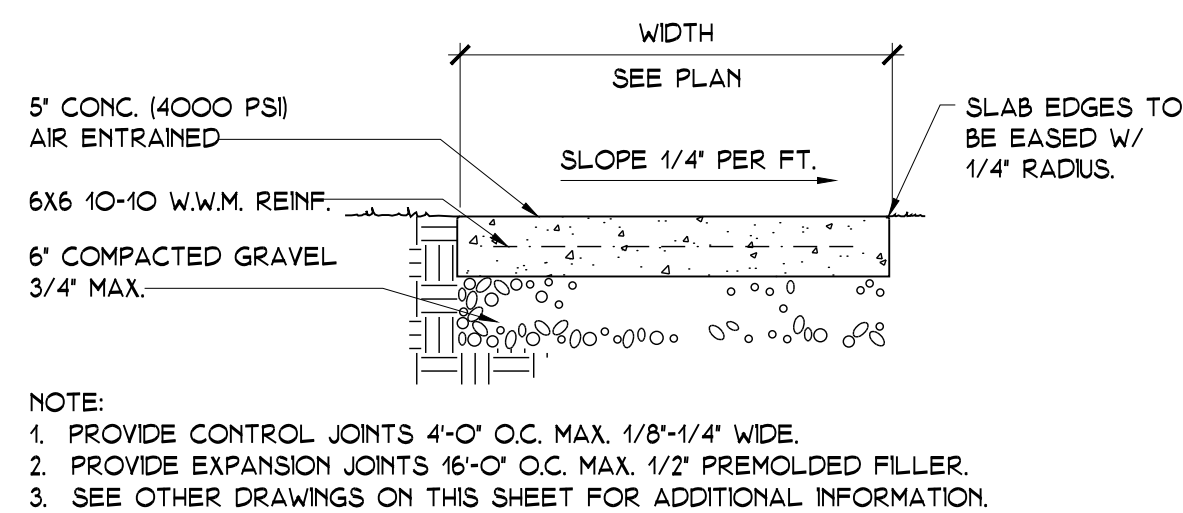
REVISIONS	DATE	BY
P.B. COMMENTS	8/4/2021	ARQ.
COORDINATION	10/13/2023	ARQ.
B.D. COMMENTS	11/13/2023	ARQ.

PROPOSED SITE PLAN 1/20'-0"

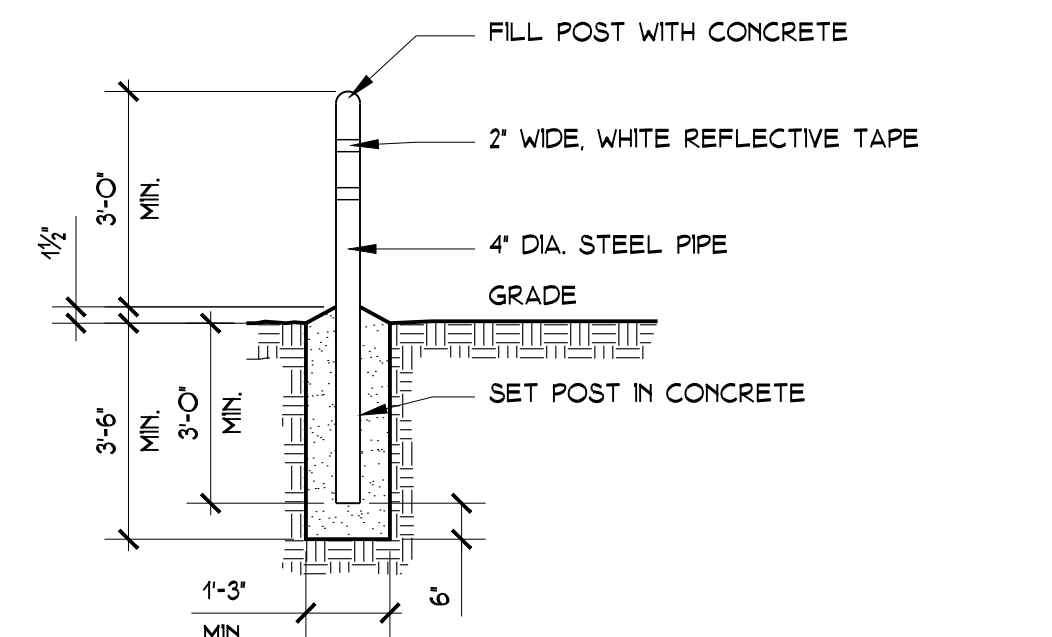
SITE DETAILS



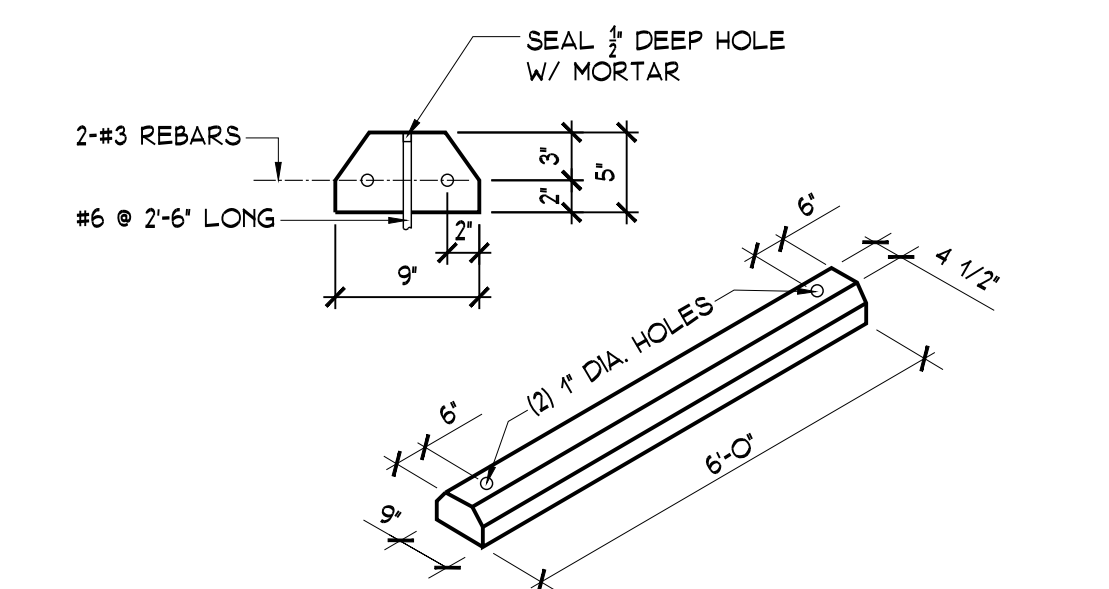
ASPHALT PAVEMENT DETAIL 1/2" = 1'-0"



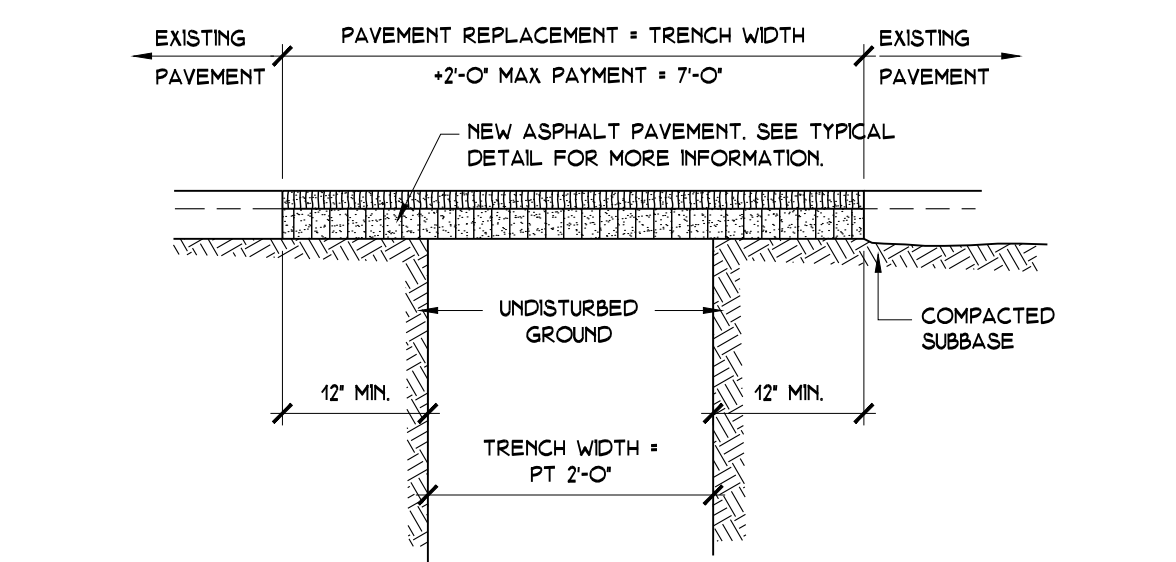
CONC. SIDEWALK DETAIL 3/4" = 1'-0"



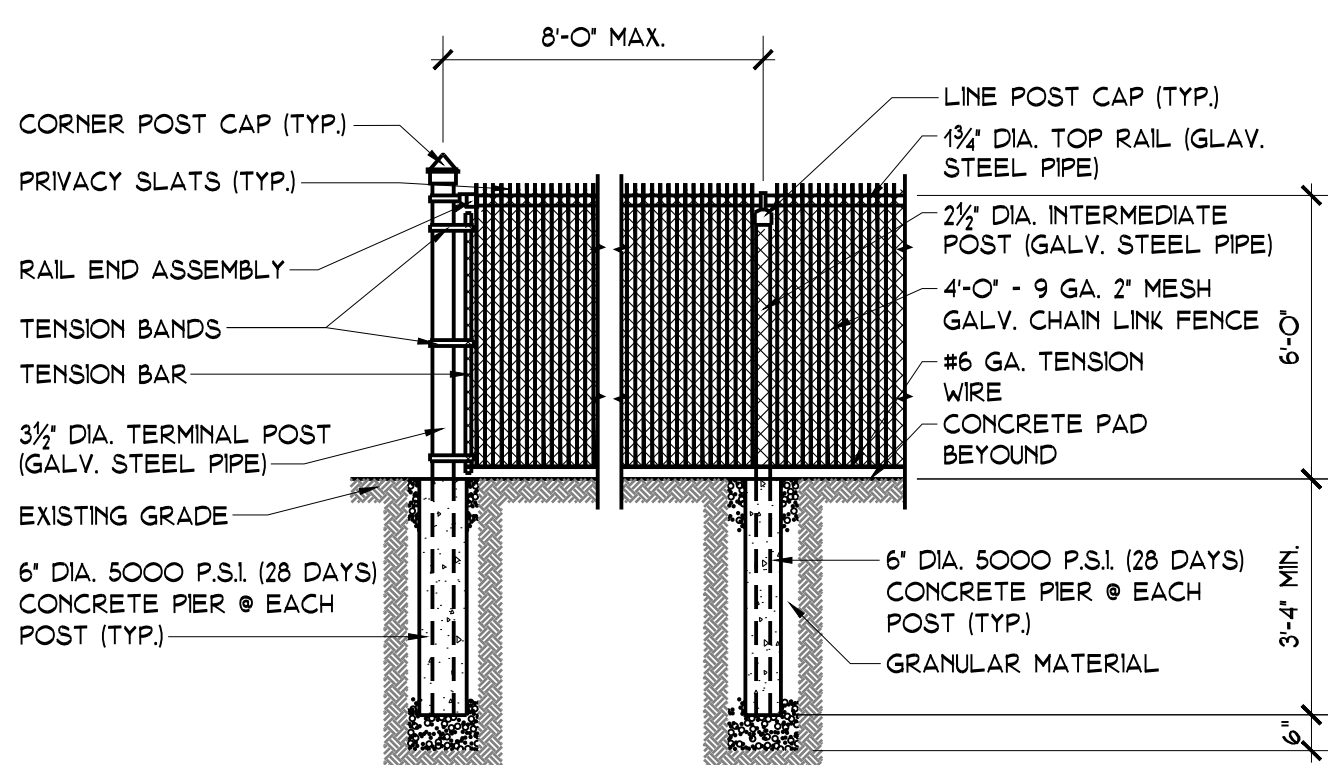
CONCRETE BOLLARD DETAIL 3/8" = 1'-0"



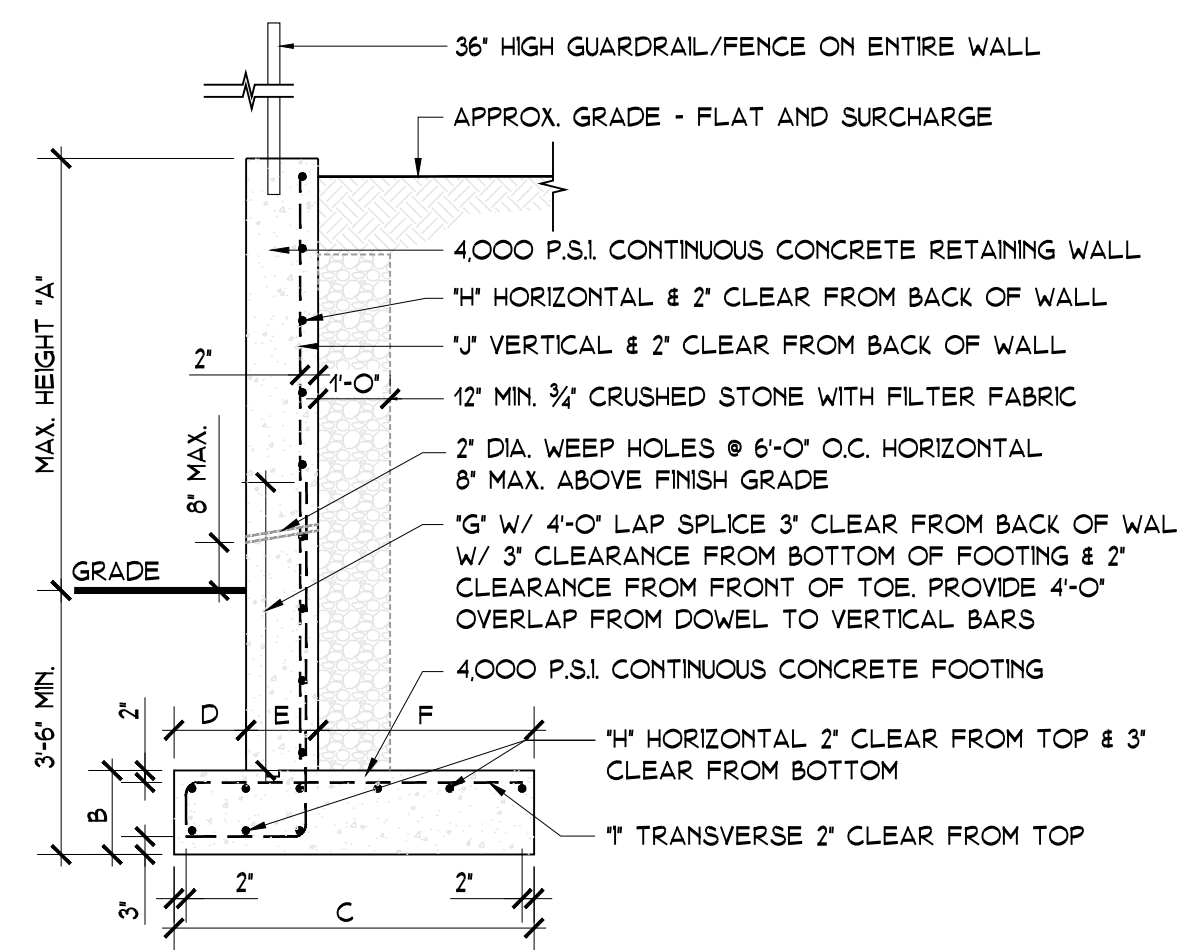
CONC. WHEEL STOP DETAIL 1" = 1'-0"



ASPHALT REPLACEMENT DETAIL 3/4" = 1'-0"

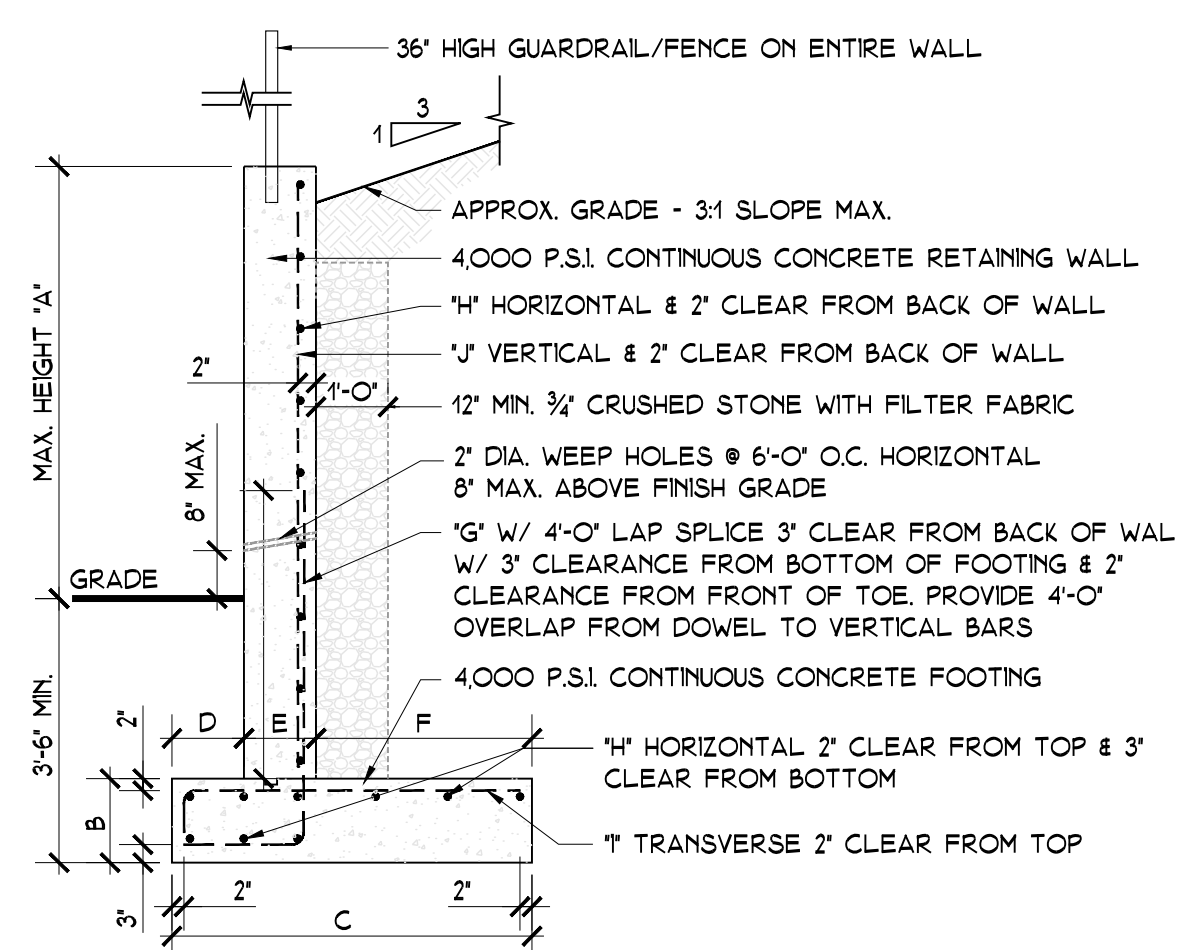


ENCLOSED GARAGE FENCE DETAIL 3/8" = 1'-0"



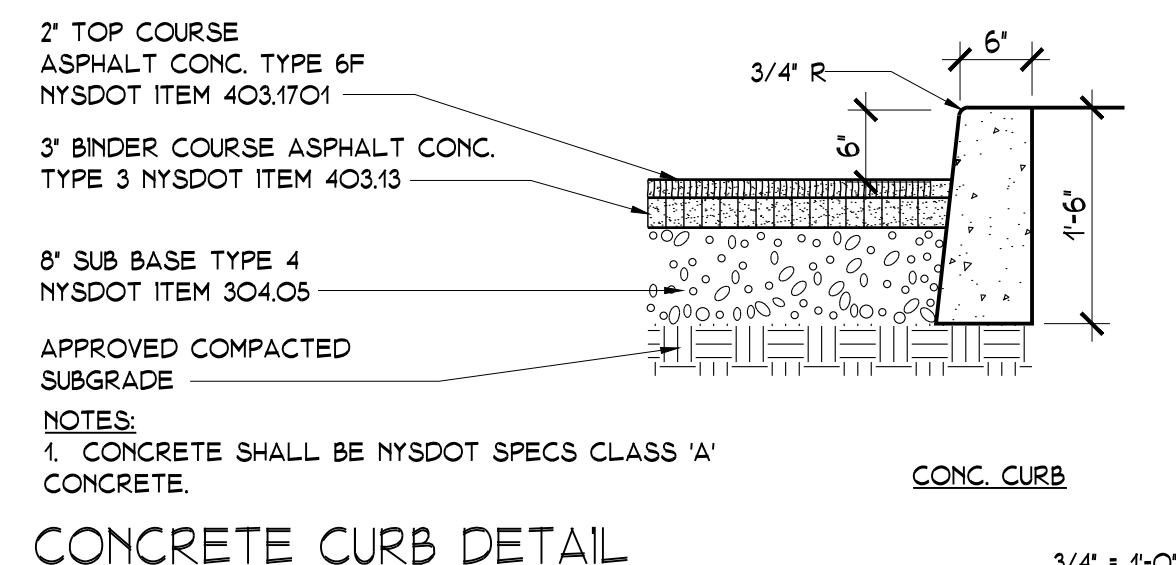
MAX. HEIGHT 'A'	FOOTING		TOE		WALL		HEEL		REINFORCING BARS			
	B	C	D	E	F	G	H	I	J	K	L	M
0' - 4'-0"	1'-0"	3'-0"	1'-0"	1'-0"	1'-0"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"
4'-1" - 6'-0"	1'-0"	3'-6"	1'-0"	1'-0"	1'-6"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"
6'-1" - 8'-0"	1'-0"	4'-0"	1'-0"	1'-0"	2'-0"	#5@12"	#5@12"	#5@12"	#5@12"	#5@12"	#5@12"	#5@12"

CONC. RET. WALL (FLAT/SURCHARGE) 3/8" = 1'-0"



MAX. HEIGHT 'A'	FOOTING		TOE		WALL		HEEL		REINFORCING BARS			
	B	C	D	E	F	G	H	I	J	K	L	M
0' - 4'-0"	1'-0"	3'-0"	1'-0"	1'-0"	1'-0"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"
4'-1" - 6'-0"	1'-0"	3'-6"	1'-0"	1'-0"	1'-6"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"	#5@16"
6'-1" - 8'-0"	1'-0"	4'-6"	1'-0"	1'-0"	2'-6"	#5@12"	#5@12"	#5@12"	#5@12"	#5@12"	#5@12"	#5@12"

CONC. RET. WALL (3:1 SLOPE MAX.) 3/8" = 1'-0"



CONCRETE CURB DETAIL 3/4" = 1'-0"

DRAWING TITLE:
 PROPOSED SITE PLAN,
 LEGEND, ZONING DATA AND
 SITE DETAILS

PROJECT:
 ADD. & ALTERATION
 AT: SARMENTO PROP.

PROJECT ADDRESS:
 3176 ALBANY POST RD.
 BUCHANAN, N.Y. 10511

DOB EXAMINER SIGNATURE:



DOB BSCAN STICKER:

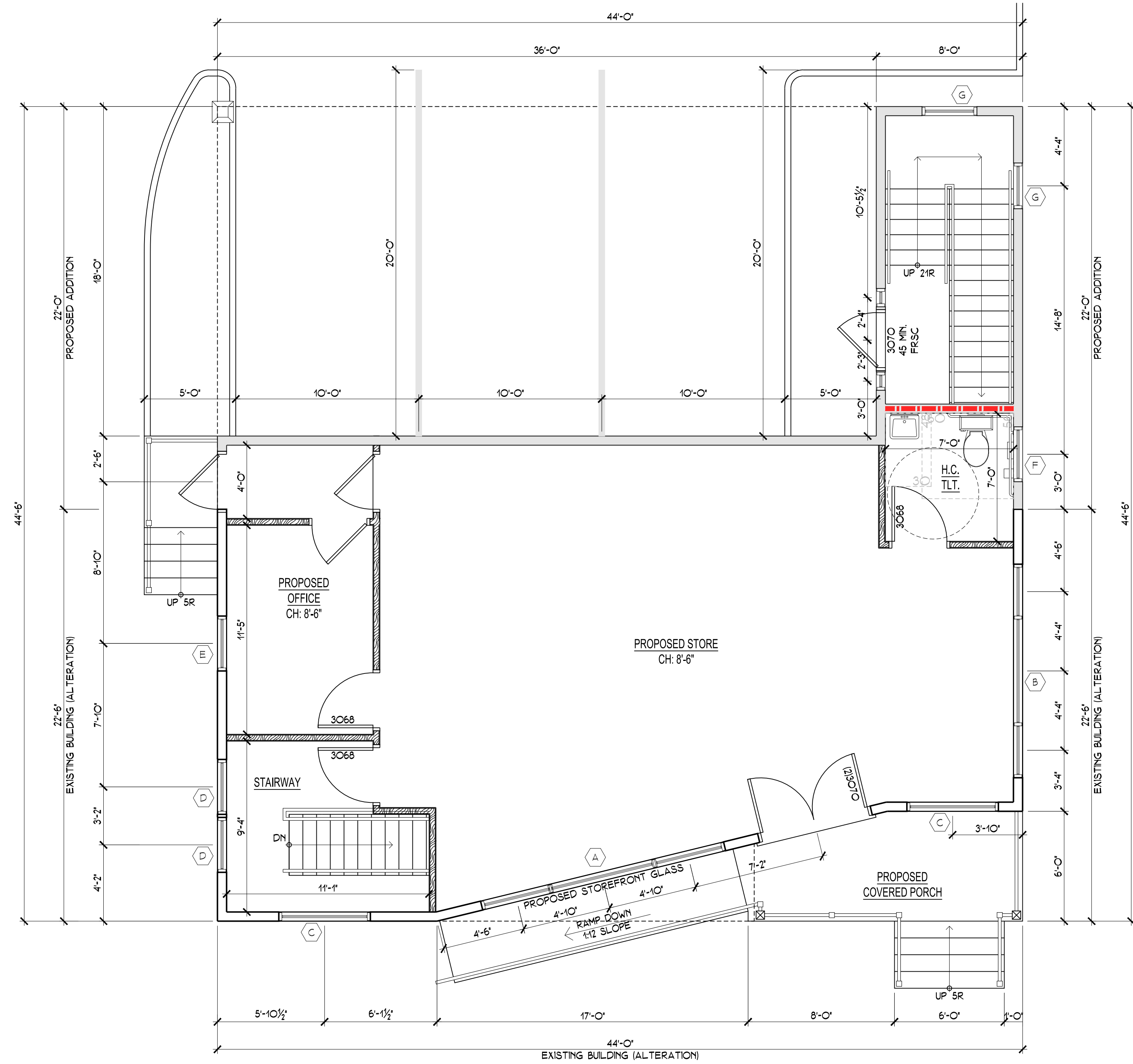


SEAL & SIGNATURE



DATE: 11/19/2020 DWG. NO.: S-1
 PROJECT NO.: 20-117
 DRAWING BY: ARQ
 CHECKED BY: JBH
 CAD FILE NO.: 3 OF 11

REVISIONS	DATE	BY
P.B. COMMENTS	8/4/2021	ARQ.
COORDINATION	10/13/2023	ARQ.
B.D. COMMENTS	11/13/2023	ARQ.



PROPOSED FIRST FLOOR PLAN 1/4" = 1'-0"

CONSTRUCTION LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	EXISTING WALL TO REMAIN	[Symbol]	REMOVE EXISTING CONSTRUCTION FROM STRUCTURAL SLAB TO UNDERSIDE OF FLOOR DECKING ABOVE. 2. REMOVE / RELOCATE EXISTING ELECTRICAL OUTLETS, SWITCHES ETC. AS REQUIRED. REWORK WIRING AS NECESSARY FOR CONTINUED POWER TO REMAINING OUTLETS, SWITCHES OR IF OUTLETS NOT REQUIRED REMOVE WIRING BACK TO NEAREST JUNCTION BOX TO REMAIN. 3. REMOVE / RELOCATE EXISTING PLUMBING AS REQUIRED. REWORK PLUMBING AS NECESSARY TO MAINTAIN INTEGRITY OF EXISTING SYSTEM TO REMAIN. CAP ALL UNUSED PIPING IN WALLS, FLOOR OR CEILINGS TO REMAIN. NOTIFY ARCHITECT IF ANY OBSTACLES APPEAR DURING DEMOLITION.
[Symbol]	2x4 WOOD STUDS @ 12" O.C. ON (1) P.T. PLATE & (2) TOP PLATES. 3/8" GYPSUM BOARD EACH SIDE	[Symbol]	
[Symbol]	NEW WALL 2x4 WOOD STUDS @ 16" O.C. WITH 3/8" GYPSUM BOARD EACH SIDE	[Symbol]	
[Symbol]	NEW DOOR INDICATES DOOR SIZE	[Symbol]	
[Symbol]	NEW BIFOLD DOOR INDICATES DOOR SIZE	[Symbol]	
[Symbol]	NEW WINDOW INDICATES WINDOW SIZE	[Symbol]	

ALL PLUMBING WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.
NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.

LEGEND:

- [Symbol] ONE HOUR FIRE RATED WALL CONSTRUCTION
- [Symbol] TWO HOUR FIRE RATED WALL CONSTRUCTION

WINDOW SCHEDULE

MARK ELEVATION	MANUFACTURER	MODEL	UNIT SIZE DIMENSION		ROUGH OPENING		TEMPERED	PRIVACY	REMARKS	COLOR	QUANTITY
			WIDTH	HEIGHT	WIDTH	HEIGHT					
A	ANDERSEN OR SIMILAR	(2) P4050 & (1) P6050	13'-11 1/2"	4'-11 1/2"	14'-1 3/8"	5'-0 3/8"	YES	NO	CUSTOM	WHITE	1
B	ANDERSEN OR SIMILAR	(2) P5050 & (1) P6050	11'-11 1/2"	4'-11 1/2"	12'-1 3/8"	5'-0 3/8"	YES	NO	CUSTOM	WHITE	1
C	ANDERSEN OR SIMILAR	P5050	5'-4 3/8"	4'-11 1/2"	5'-5 3/8"	5'-0 3/8"	YES	NO	TRANSOM	WHITE	2
D	ANDERSEN OR SIMILAR	TW21052	2'-11 3/8"	5'-4 7/8"	3'-0 1/2"	5'-4 7/8"	YES	NO	DOUBLE HUNG - EGRESS	WHITE	2
E	ANDERSEN OR SIMILAR	TW21052	2'-11 3/8"	5'-4 7/8"	3'-0 1/2"	5'-4 7/8"	NO	NO	DOUBLE HUNG - EGRESS	WHITE	19
F	ANDERSEN OR SIMILAR	CXW13	2'-11 3/8"	2'-11 3/8"	3'-0 1/2"	3'-0 1/2"	YES	YES	CASEMENT	WHITE	1
G	ANDERSEN OR SIMILAR	CXW13	2'-11 3/8"	2'-11 3/8"	3'-0 1/2"	3'-0 1/2"	YES	NO	CASEMENT	WHITE	5
H	ANDERSEN OR SIMILAR	TW210310	2'-11 3/8"	4'-0 7/8"	3'-0 1/2"	4'-0 7/8"	NO	NO	DOUBLE HUNG - KITCHEN	WHITE	2

- NOTES:**
- WINDOWS TO BE ANDERSEN 400 SERIES. PROVIDE EXTENSION JAMBS & INSECT SCREENS AS REQUIRED
 - ALL WINDOW HEADS TO MATCH EXISTING HEAD HEIGHTS UNLESS OTHERWISE NOTED
 - PROVIDE (2) 2x10 HEADER TO MATCH EXISTING HEAD HEIGHTS UNLESS OTHERWISE NOTED. SEE PLAN FOR SIZES
 - G.C. TO VERIFY COUNT & ALL EXISTING ROUGH FRAME & MASONRY OPENINGS PRIOR TO ORDERING WINDOW UNITS
 - ALL GLAZING LESS THAN 18" ABOVE A FINISHED FLOOR TO BE TEMPERED.
 - ALL WINDOWS WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR TO BE TEMPERED

DRAWING TITLE:
BIRSONLEBOR RYANND
LEGENDS AND WINDOW
SCHEDULE

PROJECT:
ADD. & ALTERATION
AT: SARMIENTO PROP.

PROJECT ADDRESS:
3176 ALBANY POST RD.
BUCHANAN, N.Y. 10511

DOB EXAMINER SIGNATURE:



DOB BSCAN STICKER:

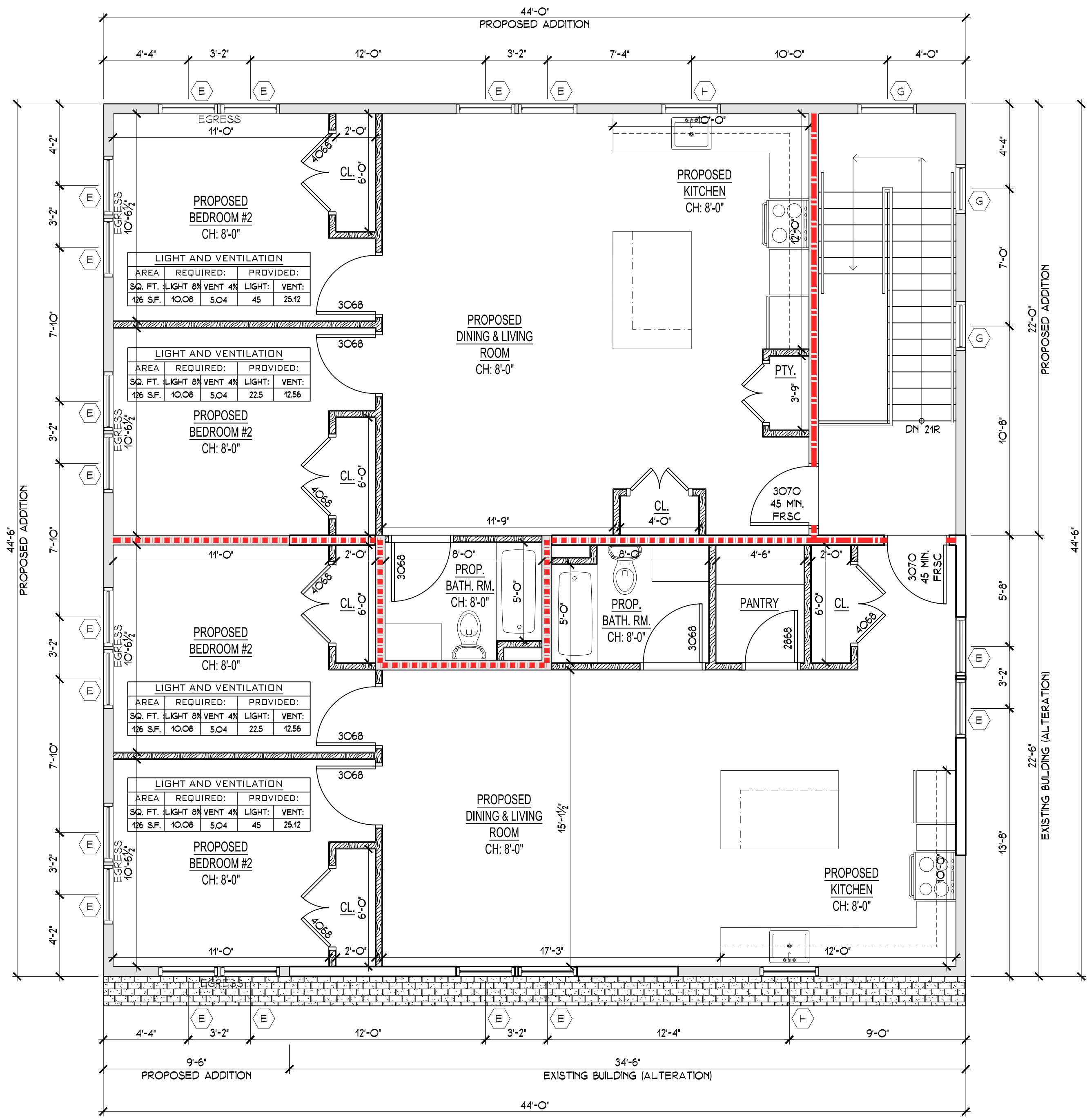


SEAL & SIGNATURE



DATE: 11/19/2020	DWG. NO.:
PROJECT NO.:	A-1
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	6 OF 11

REVISIONS	DATE	BY
P.B. COMMENTS	8/4/2021	ARQ.
COORDINATION	10/13/2023	ARQ.
B.D. COMMENTS	11/13/2023	ARQ.



CONSTRUCTION LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	EXISTING WALL TO REMAIN 2X4 WOOD STUDS @ 12" O.C. ON (1) P.T. PLATE & (2) TOP PLATES. 5/8" GYPSUM BOARD EACH SIDE	[Symbol]	REMOVE EXISTING CONSTRUCTION FROM STRUCTURAL SLAB TO UNDERSIDE OF FLOOR DECKING ABOVE. 2. REMOVE / RELOCATE EXISTING ELECTRICAL OUTLETS, SWITCHES ETC. AS REQUIRED. REWORK WIRING AS NECESSARY FOR CONTINUED POWER TO REMAINING OUTLETS, SWITCHES OR IF OUTLETS NOT REQUIRED REMOVE WIRING BACK TO NEAREST JUNCTION BOX TO REMAIN. 3. REMOVE / RELOCATE EXISTING PLUMBING AS REQUIRED. REWORK PLUMBING AS NECESSARY TO MAINTAIN INTEGRITY OF EXISTING SYSTEM TO REMAIN. CAP ALL UNUSED PIPING IN WALLS, FLOOR OR CEILINGS TO REMAIN. NOTIFY ARCHITECT IF ANY OBSTACLES APPEAR DURING DEMOLITION.
[Symbol]	NEW WALL 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD EACH SIDE	[Symbol]	NEW DOOR INDICATES DOOR SIZE
[Symbol]	NEW BIFOLD DOOR INDICATES DOOR SIZE	[Symbol]	NEW WINDOW INDICATES WINDOW SIZE

ALL PLUMBING WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.
NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.

LEGEND:

- [Symbol] ONE HOUR FIRE RATED WALL CONSTRUCTION
- [Symbol] TWO HOUR FIRE RATED WALL CONSTRUCTION

WINDOW SCHEDULE

MARK ELEVATION	MANUFACTURER	MODEL	UNIT SIZE DIMENSION		ROUGH OPENING		TEMPERED	PRIVACY	REMARKS	COLOR	QUANTITY
			WIDTH	HEIGHT	WIDTH	HEIGHT					
A	ANDERSEN OR SIMILAR	(2) P4050 & (1) P6050	13'-11 1/2"	4'-11 1/2"	14'-13 1/2"	5'-0 3/8"	YES	NO	CUSTOM	WHITE	1
B	ANDERSEN OR SIMILAR	(2) P3050 & (1) P6050	11'-11 1/2"	4'-11 1/2"	12'-13 1/2"	5'-0 3/8"	YES	NO	CUSTOM	WHITE	1
C	ANDERSEN OR SIMILAR	P5050	5'-4 3/4"	4'-11 1/2"	5'-5 3/8"	5'-0 3/8"	YES	NO	TRANSOM	WHITE	2
D	ANDERSEN OR SIMILAR	TW21052	2'-11 1/2"	5'-4 7/8"	3'-0 1/2"	5'-4 7/8"	YES	NO	DOUBLE HUNG - EGRESS	WHITE	2
E	ANDERSEN OR SIMILAR	TW21052	2'-11 1/2"	5'-4 7/8"	3'-0 1/2"	5'-4 7/8"	NO	NO	DOUBLE HUNG - EGRESS	WHITE	19
F	ANDERSEN OR SIMILAR	CXW13	2'-11 1/2"	2'-11 1/2"	3'-0 1/2"	3'-0 1/2"	YES	YES	CASEMENT	WHITE	1
G	ANDERSEN OR SIMILAR	CXW13	2'-11 1/2"	2'-11 1/2"	3'-0 1/2"	3'-0 1/2"	YES	NO	CASEMENT	WHITE	5
H	ANDERSEN OR SIMILAR	TW210310	2'-11 1/2"	4'-0 7/8"	3'-0 1/2"	4'-0 7/8"	NO	NO	DOUBLE HUNG - KITCHEN	WHITE	2

- NOTES:**
- WINDOWS TO BE ANDERSEN 400 SERIES. PROVIDE EXTENSION JAMBS & INSECT SCREENS AS REQUIRED
 - ALL WINDOW HEADS TO MATCH EXISTING HEAD HEIGHTS UNLESS OTHERWISE NOTED
 - PROVIDE (2) 2x10 HEADER TO MATCH EXISTING HEAD HEIGHTS UNLESS OTHERWISE NOTED. SEE PLAN FOR SIZES
 - G.C. TO VERIFY COUNT & ALL EXISTING ROUGH FRAME & MASONRY OPENINGS PRIOR TO ORDERING WINDOW UNITS
 - ALL GLAZING LESS THAN 18" ABOVE A FINISHED FLOOR TO BE TEMPERED
 - ALL WINDOWS WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR TO BE TEMPERED

DRAWING TITLE:
SECOND FLOOR PLAN, LEGENDS AND WINDOW SCHEDULE

PROJECT:
ADD. & ALTERATION AT: SARMIENTO PROP.

PROJECT ADDRESS:
3176 ALBANY POST RD. BUCHANAN, N.Y. 10511

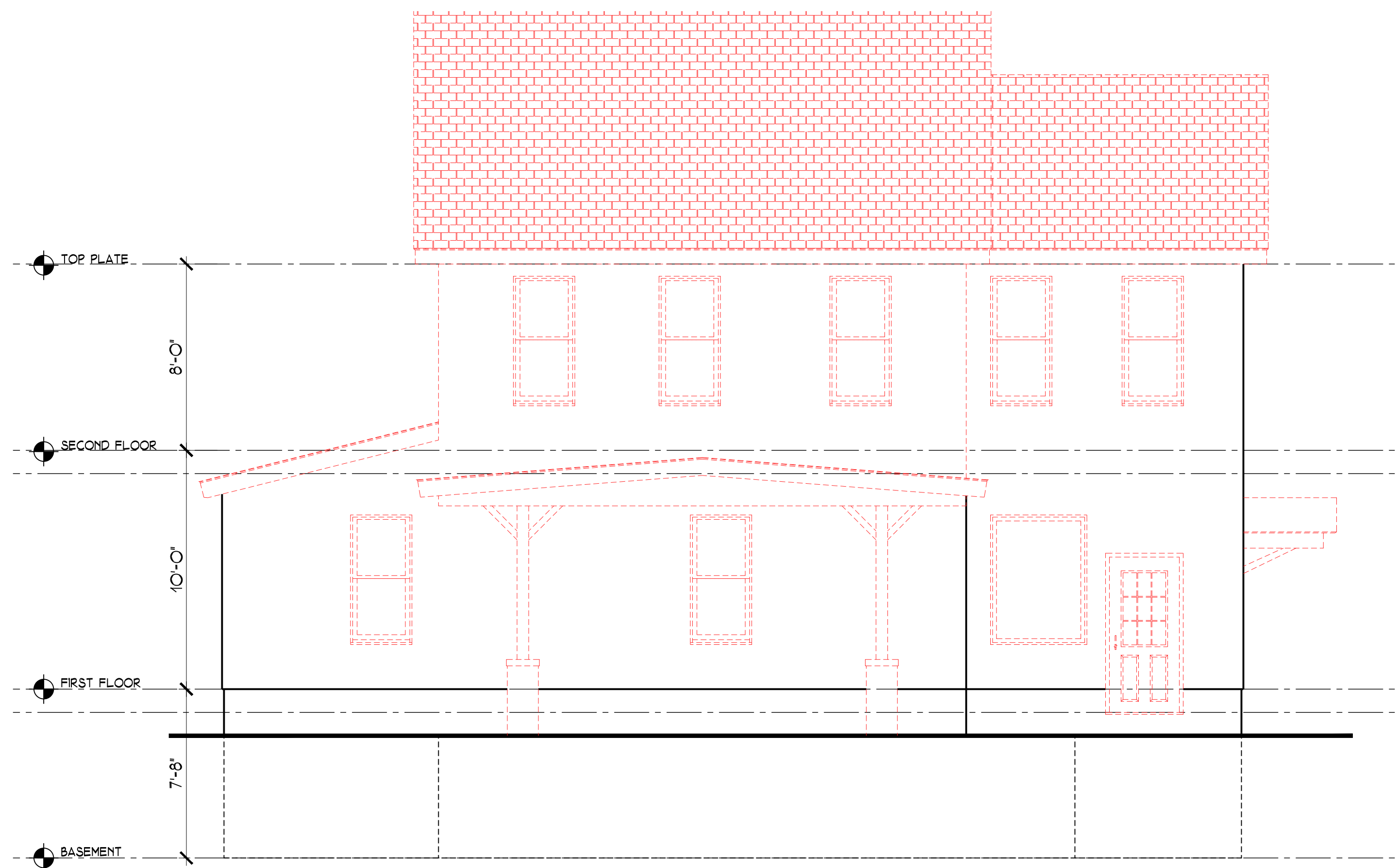
DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

SEAL & SIGNATURE

DATE: 11/19/2020	DWG. NO.:
PROJECT NO.:	A-2
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	7 OF 11

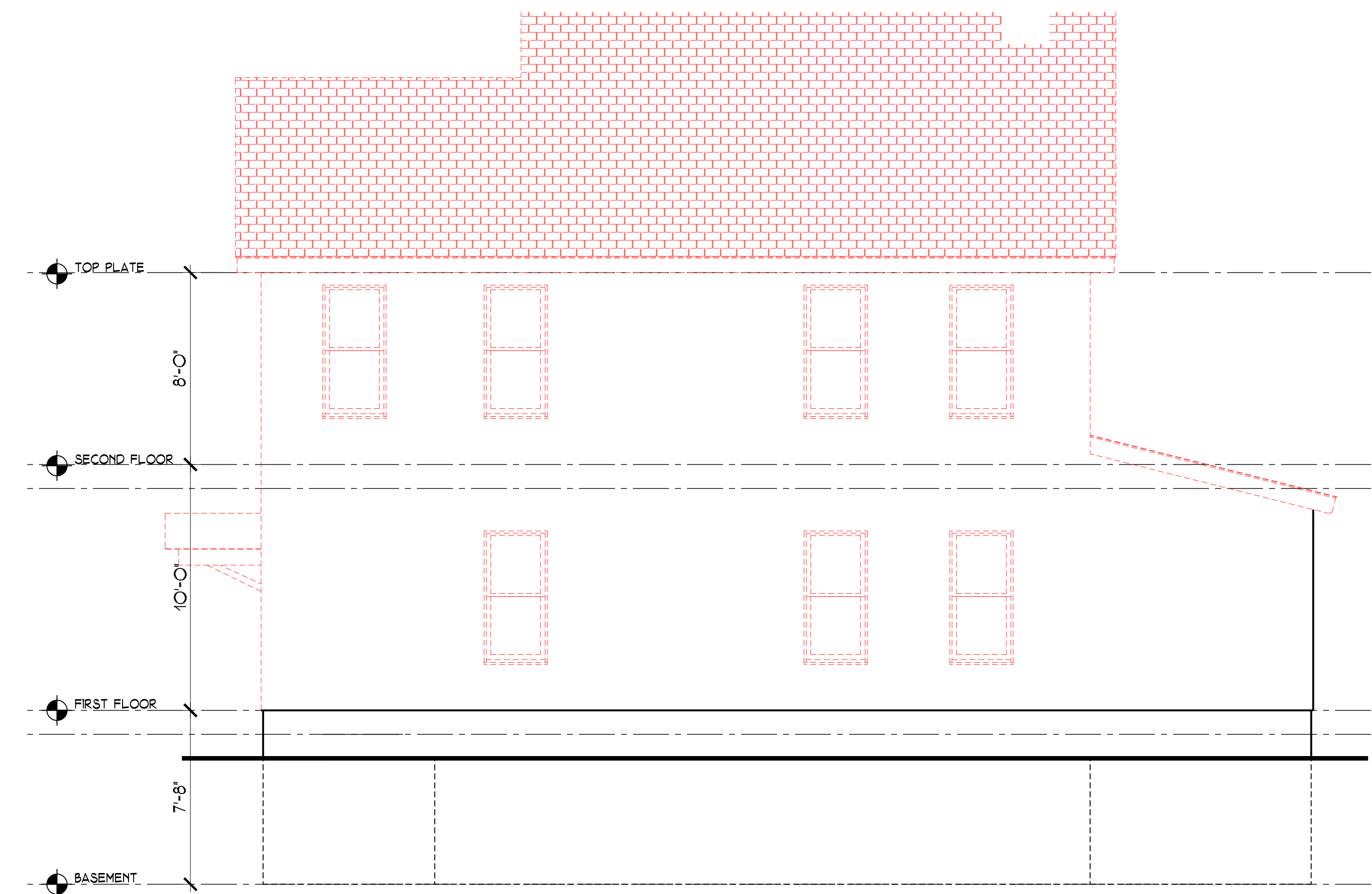
REVISIONS	DATE	BY
P.B. COMMENTS	8/4/2021	ARQ
COORDINATION	10/19/2023	ARQ
B.D. COMMENTS	11/13/2023	ARQ



EXISTING FRONT ELEVATION 1/4" = 1'-0"



PROPOSED FRONT ELEVATION 1/4" = 1'-0"



EXISTING REAR ELEVATION 1/4" = 1'-0"



PROPOSED REAR ELEVATION 1/4" = 1'-0"

DRAWING TITLE:
EXISTING/PROPOSED FRONT &
REAR ELEVATIONS

PROJECT:
ADD. & ALTERATION
AT: SARMIENTO PROP.

PROJECT ADDRESS:
3176 ALBANY POST RD.
BUCHANAN, N.Y. 10511

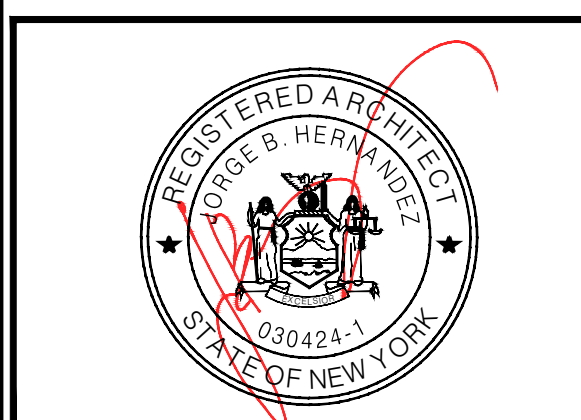
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DOB BSCAN STICKER:

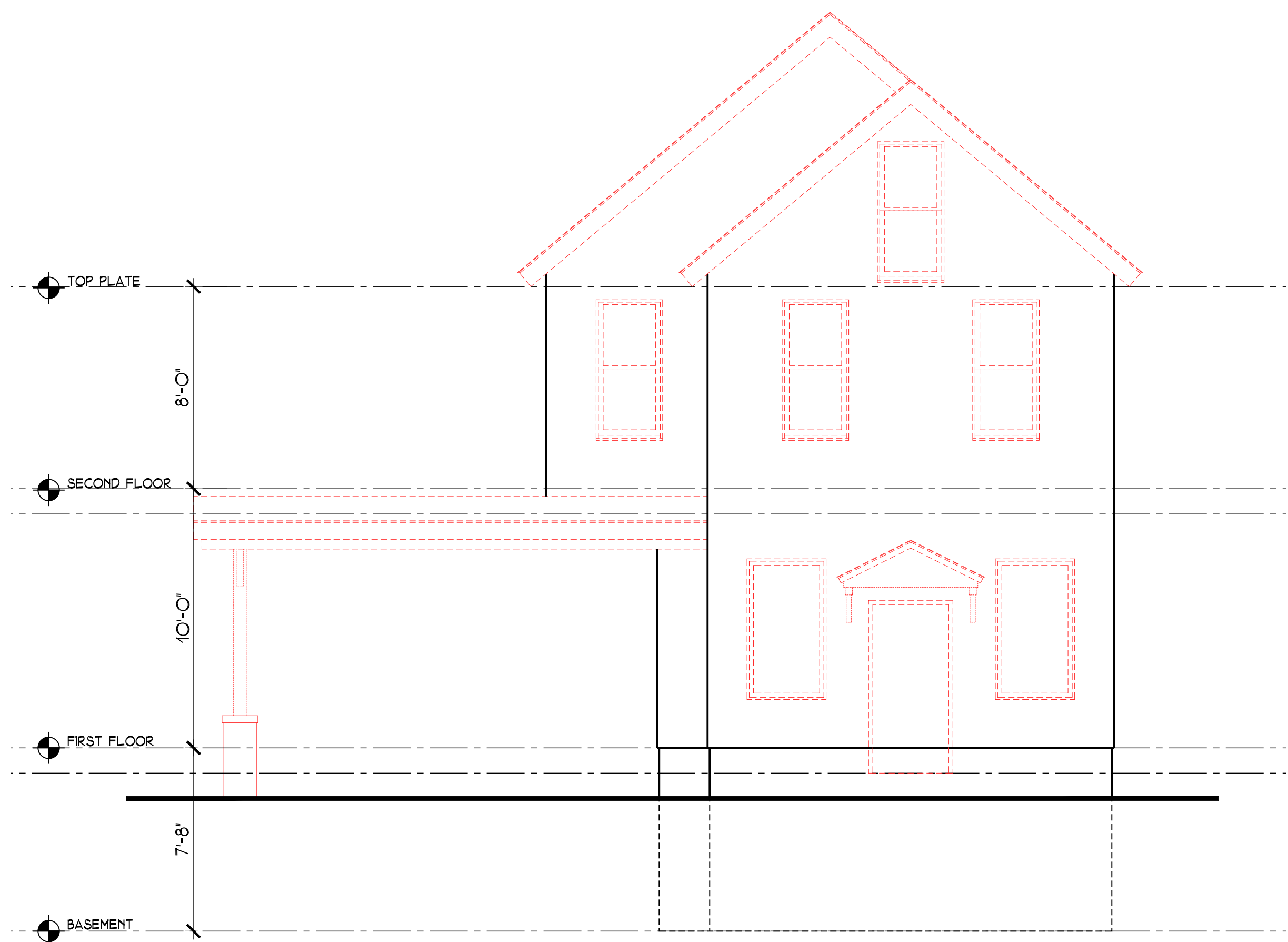


SEAL & SIGNATURE



DATE: 11/19/2020	DWG. NO.:
PROJECT NO.:	A-3
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	8 OF 11

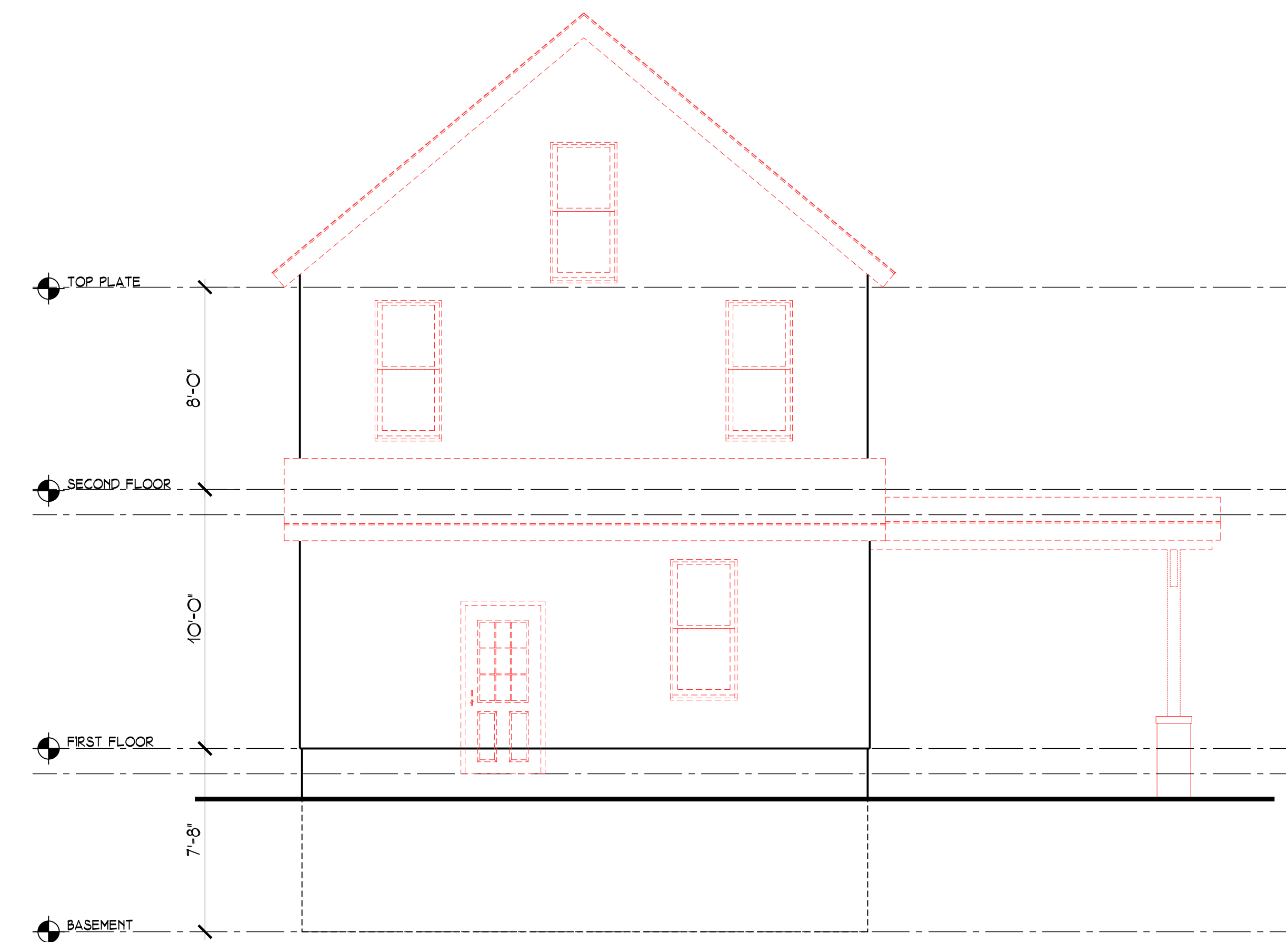
REVISIONS	DATE	BY
P.B. COMMENTS	8/4/2021	ARQ.
COORDINATION	10/13/2023	ARQ.
B.D. COMMENTS	11/13/2023	ARQ.



EXISTING RIGHT SIDE ELEVATION 1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION 1/4" = 1'-0"



EXISTING LEFT SIDE ELEVATION 1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION 1/4" = 1'-0"

DRAWING TITLE:
EXISTING/PROPOSED RIGHT & LEFT SIDE ELEVATIONS

PROJECT:
ADD. & ALTERATION
AT: SARMIENTO PROP.

PROJECT ADDRESS:
3176 ALBANY POST RD.
BUCHANAN, N.Y. 10511

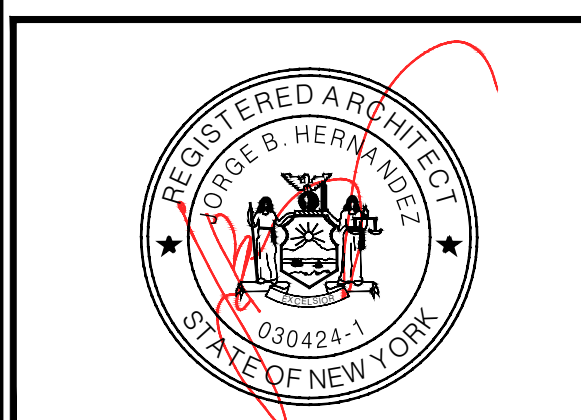
DOB EXAMINER SIGNATURE:



DOB BSCAN STICKER:

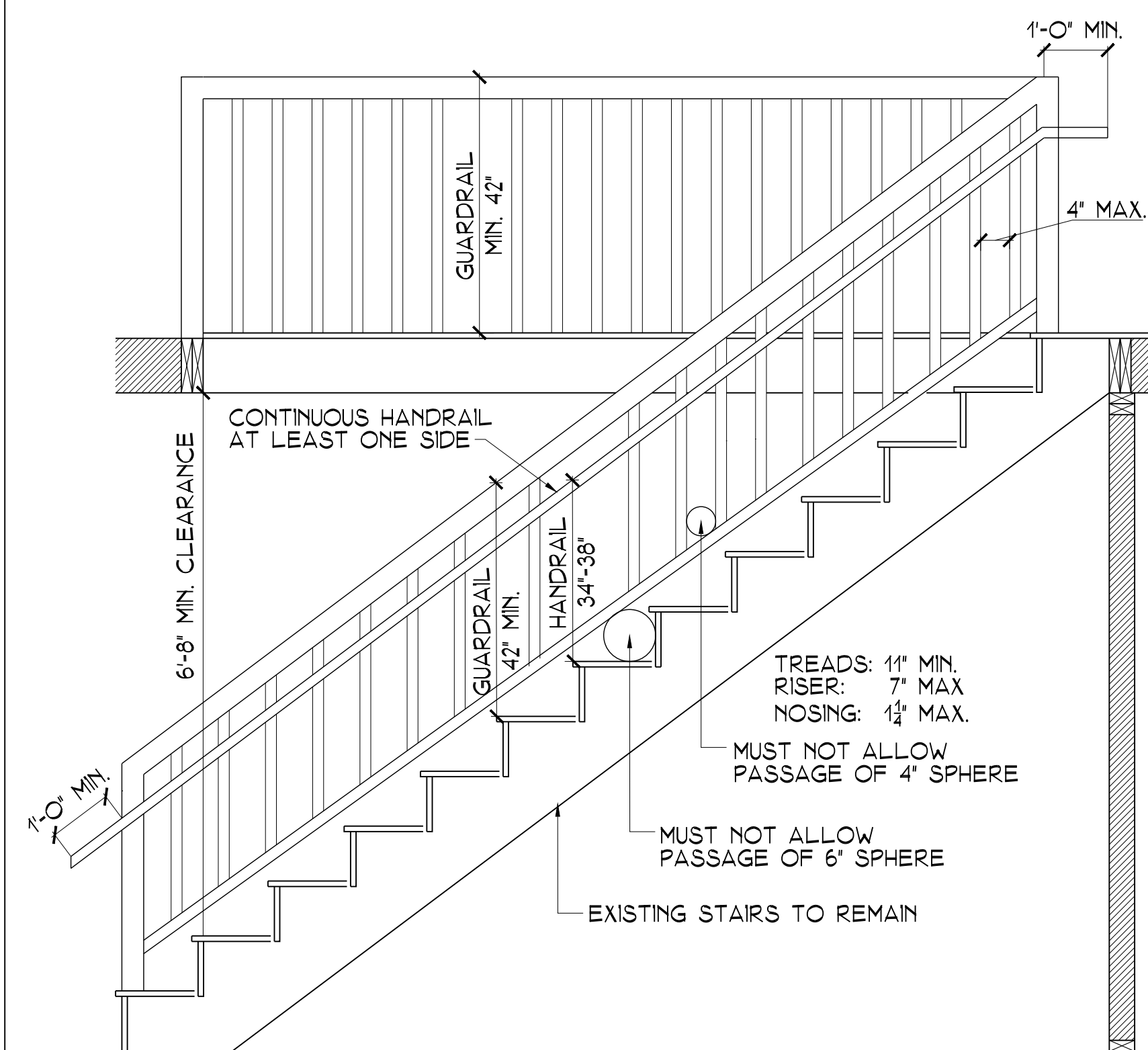


SEAL & SIGNATURE



DATE: 11/19/2020	DWG. NO.:
PROJECT NO.:	A-4
DRAWING BY: ARQ	CAD FILE NO.:
CHECKED BY: JBH	9 OF 11

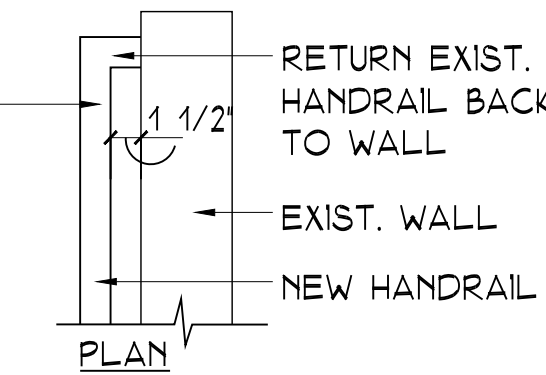
SCHEMATIC STAIR/RAIL DETAIL



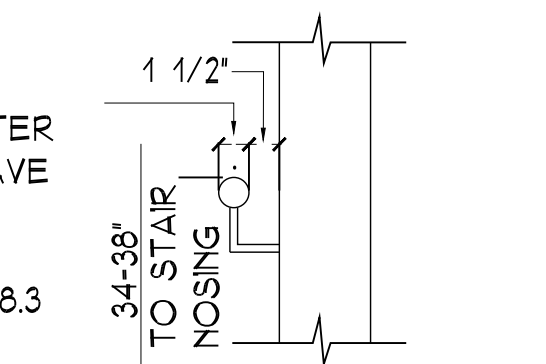
NOTE: STAIRS, RAMPS, HANDRAILS, & GUARDRAILS TO FOLLOW THE 2020 BC OF NYS CHAPTER 10 'MEANS OF EGRESS'

HANDRAIL DETAIL

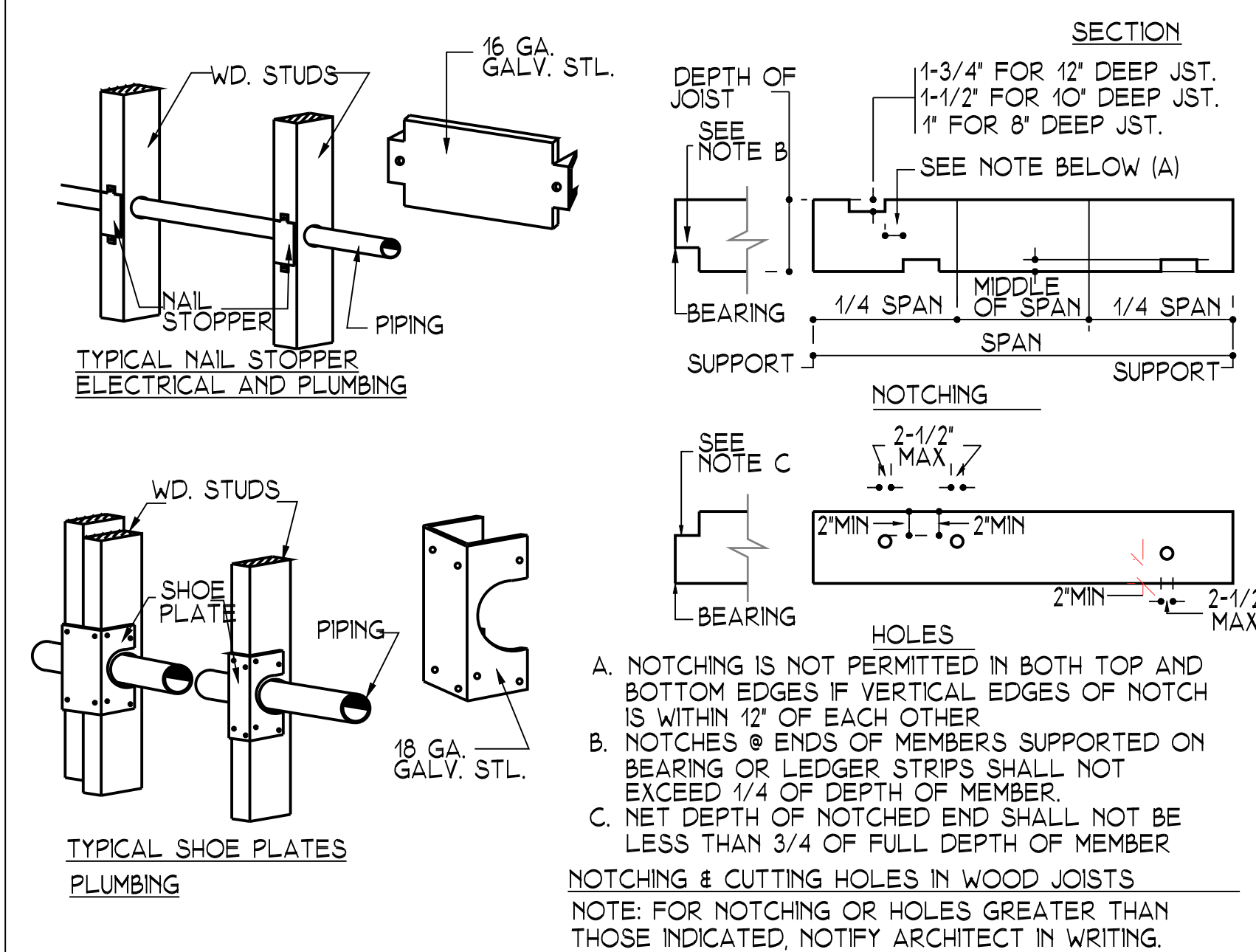
HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND THE HANDRAILS.



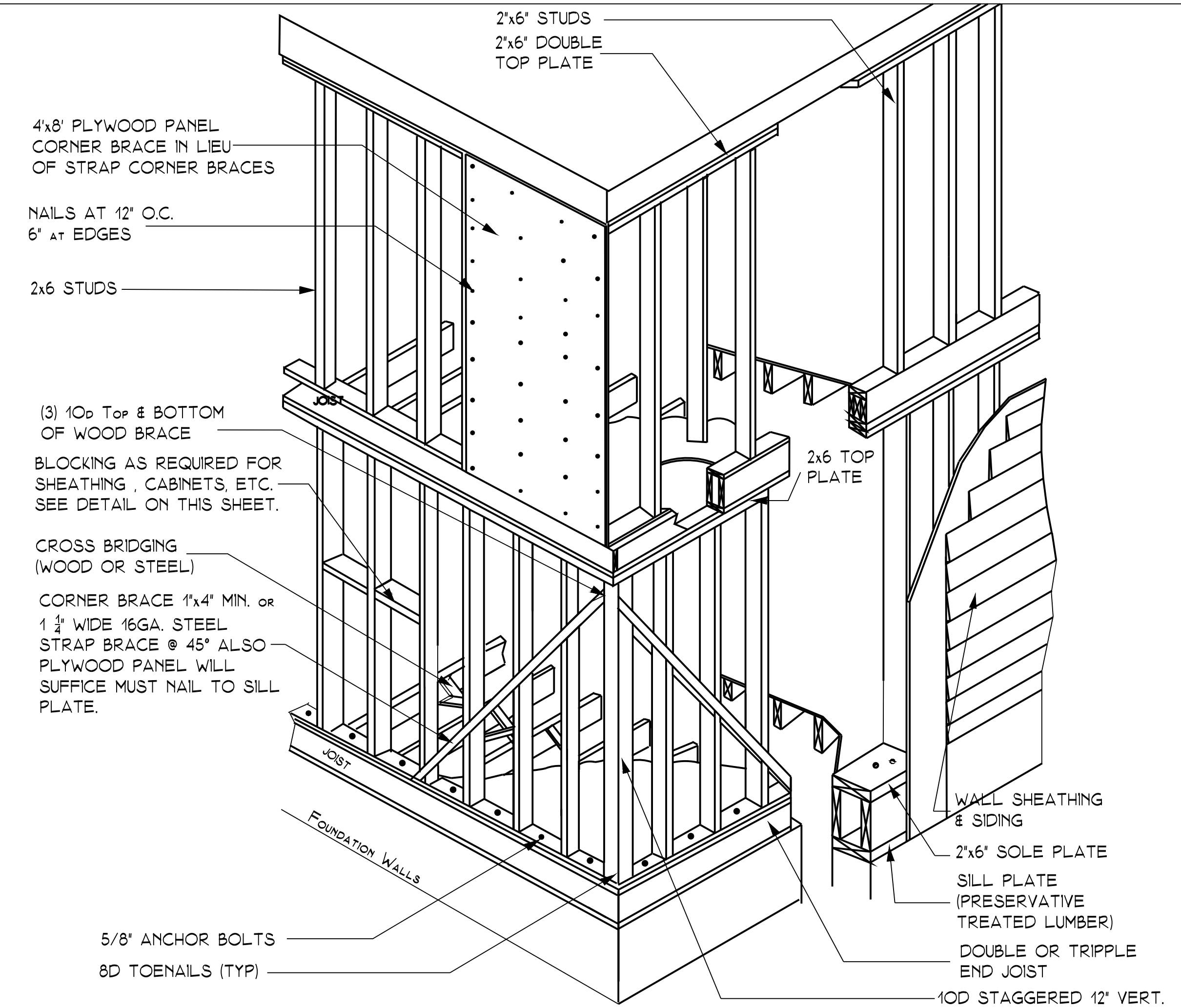
HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6-1/4 INCHES WITH A MAXIMUM CROSS SECTION DIMENSION OF 2-1/4 INCHES AS PER SECTION 19C 2015 #R311.7.8.3



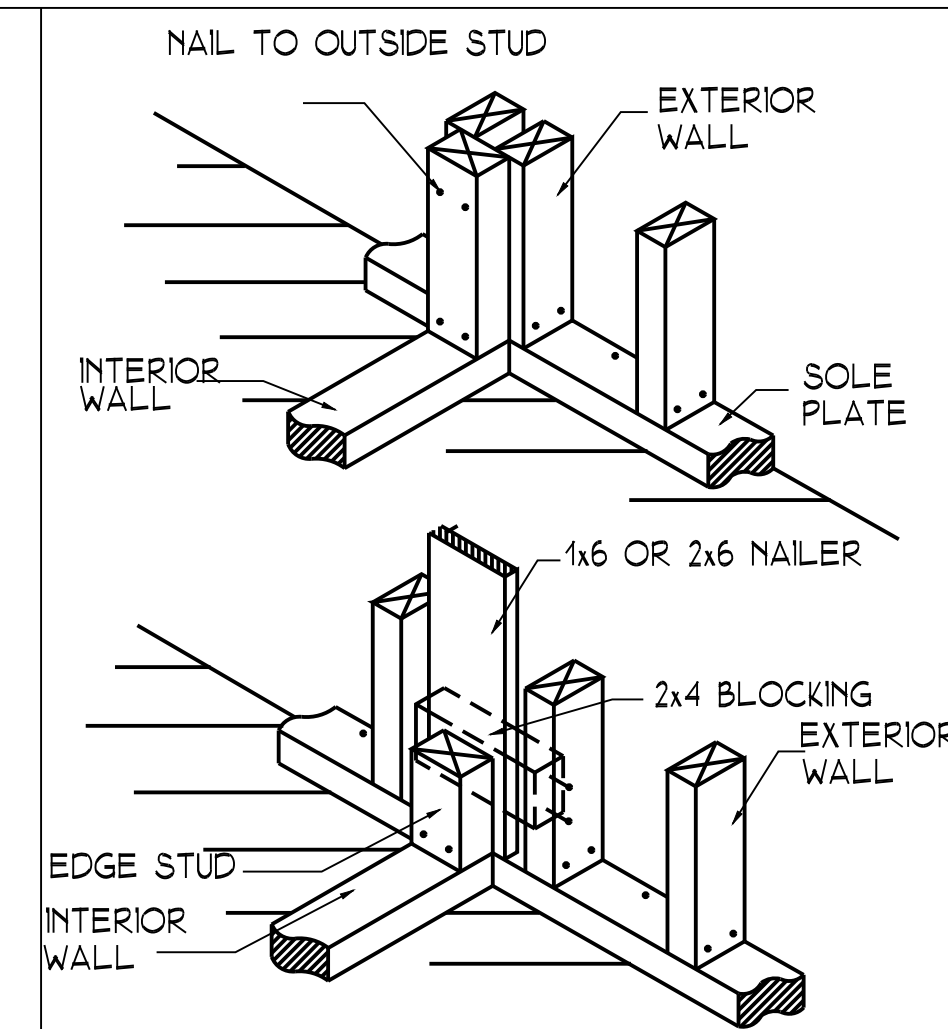
NOTCHING/MISC. DETAILS



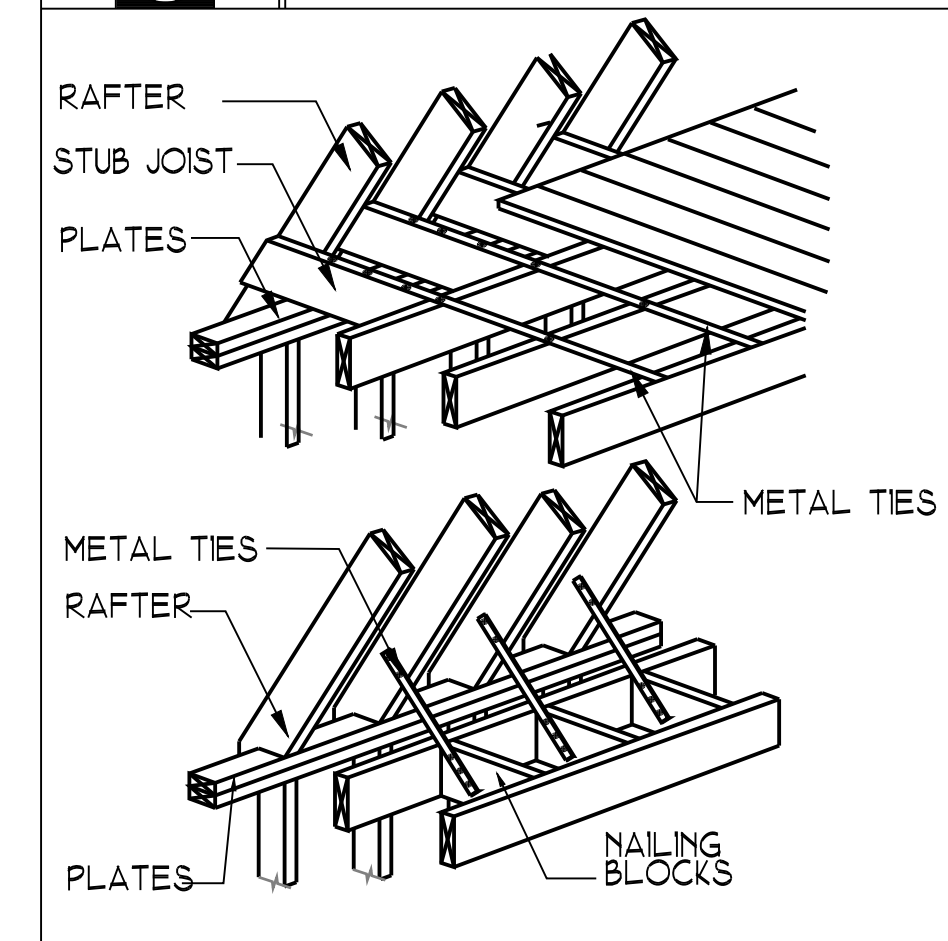
STANDARD FRAMING DETAILS



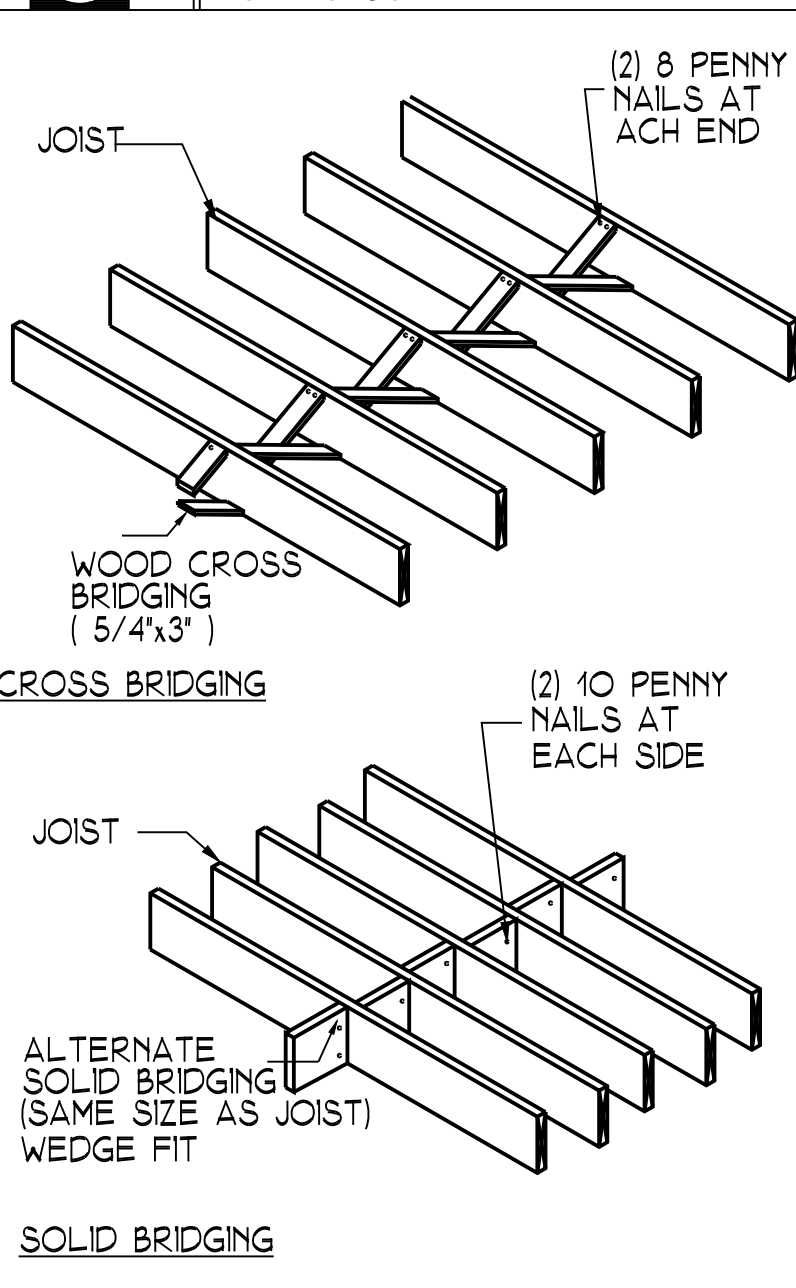
1 TWO STORY EXTERIOR WALL SCHEMATIC DETAIL NOT TO SCALE



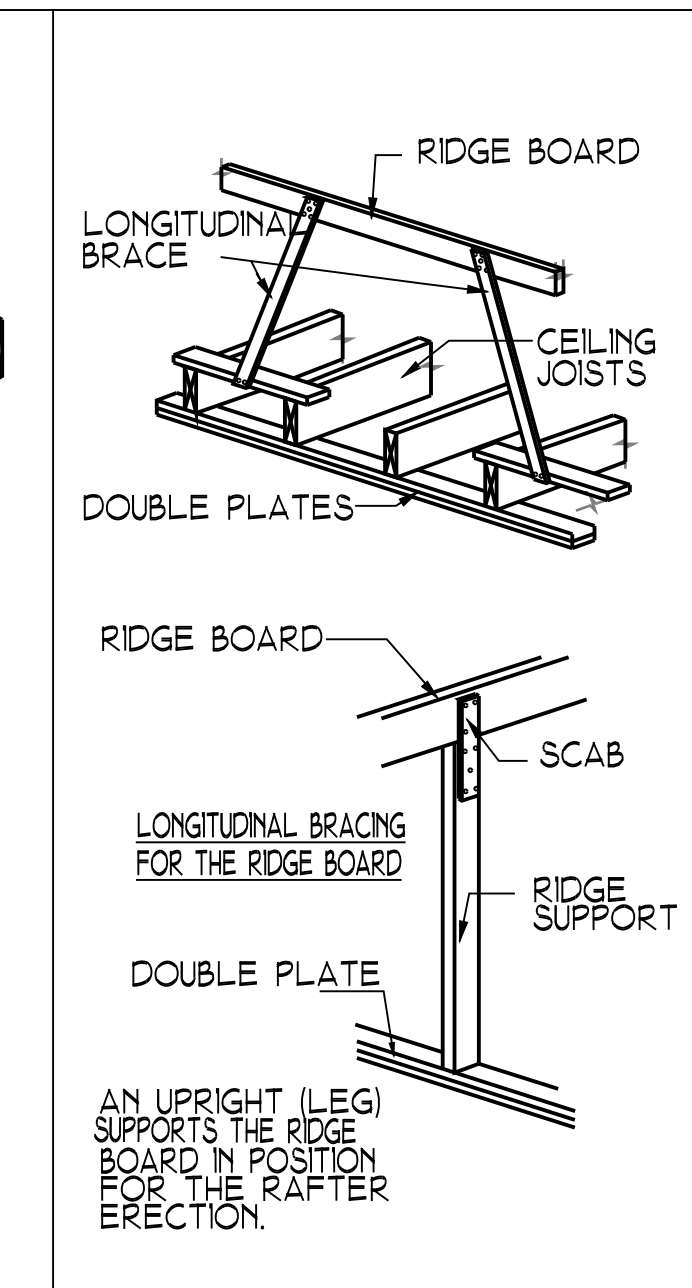
2 DETAIL NOT TO SCALE



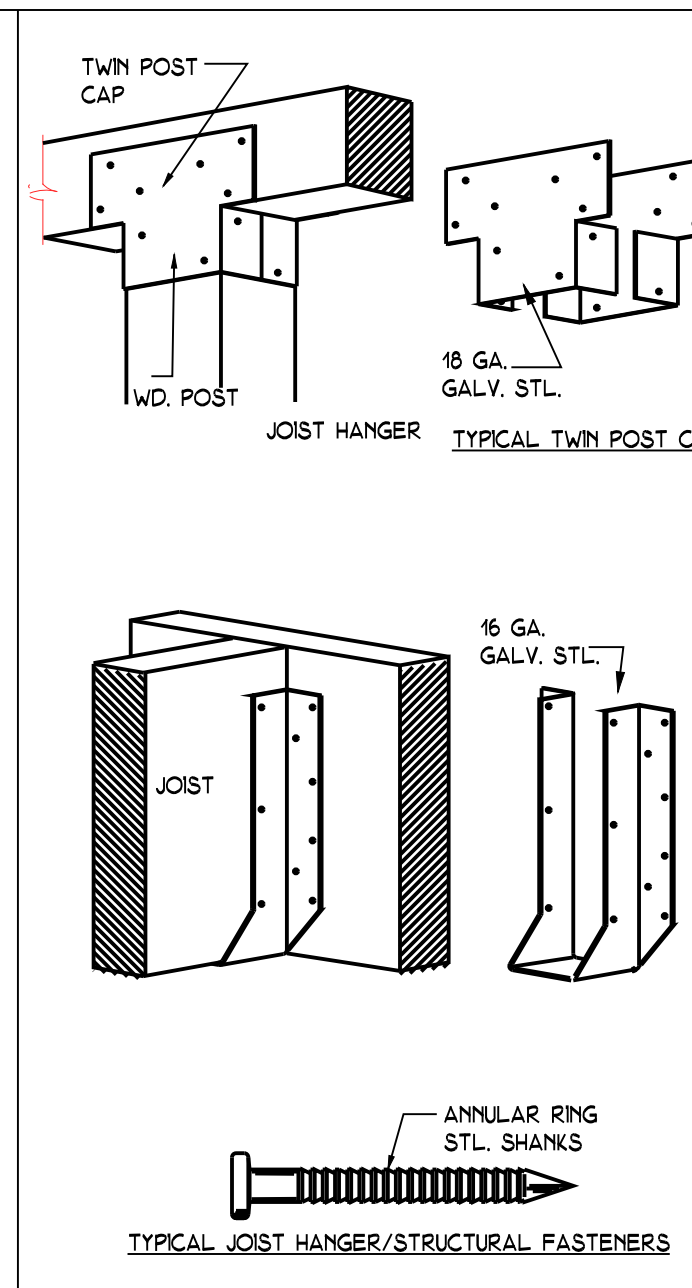
3 DETAIL NOT TO SCALE



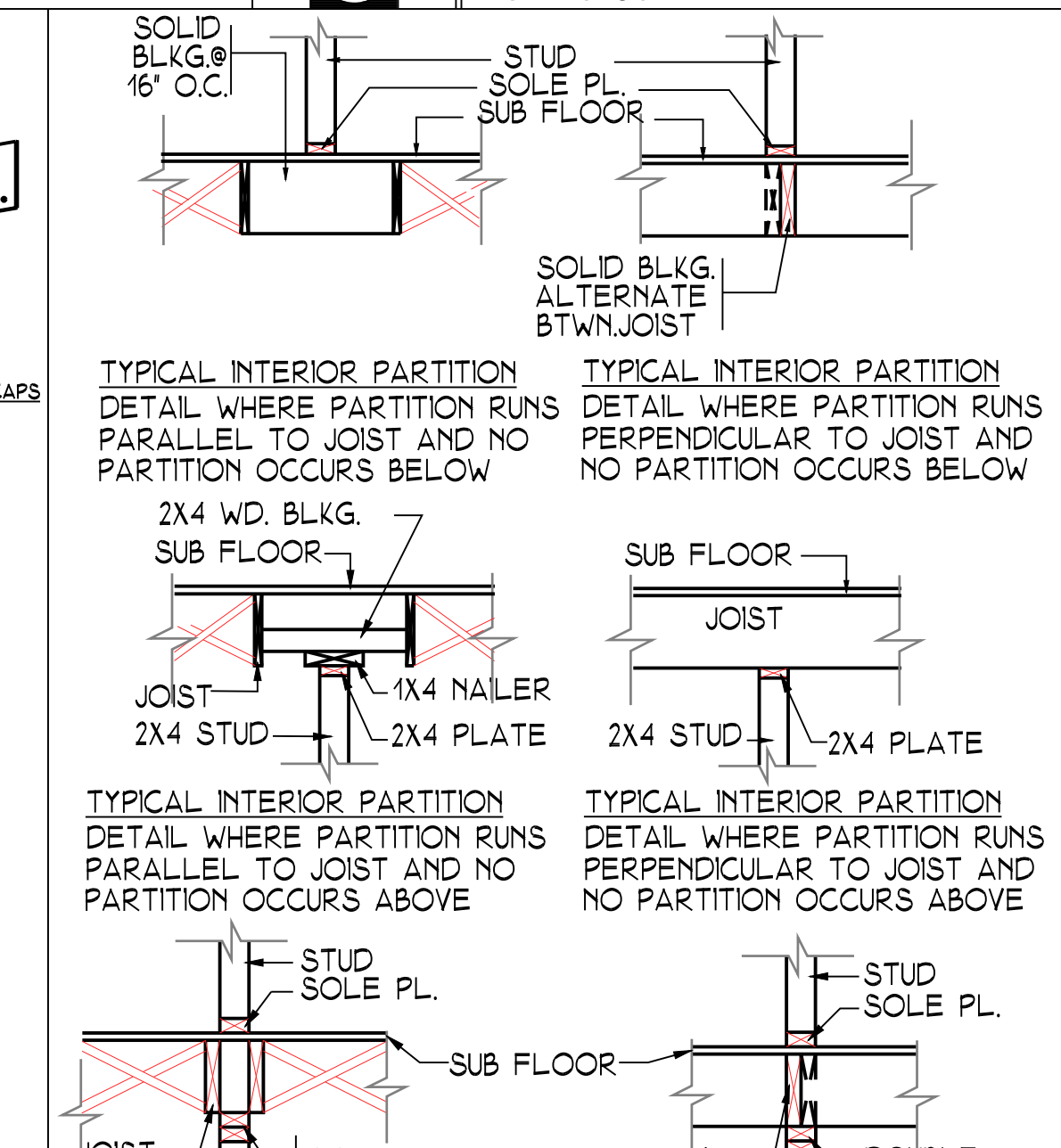
4 TYP. FLOOR BRIDGING NOT TO SCALE



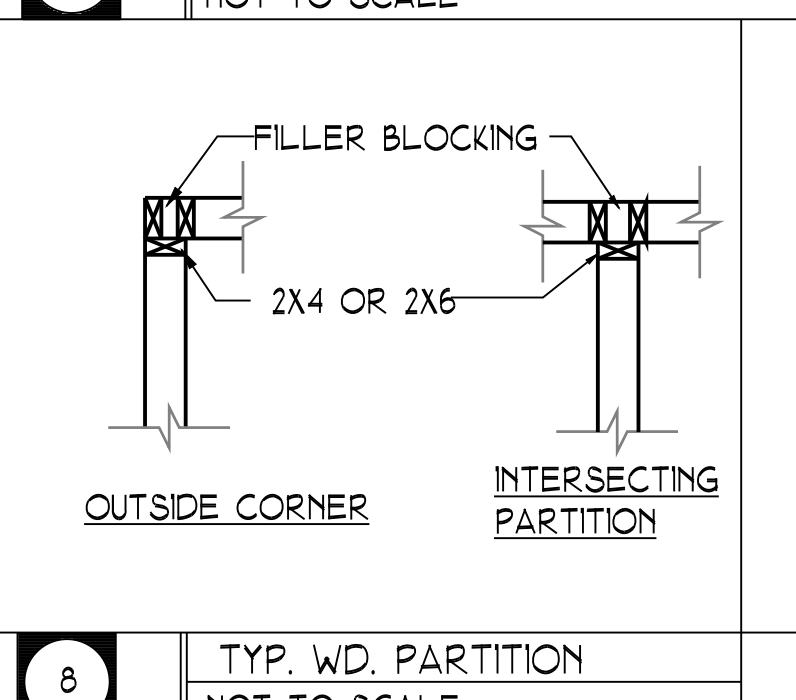
5 DETAIL NOT TO SCALE



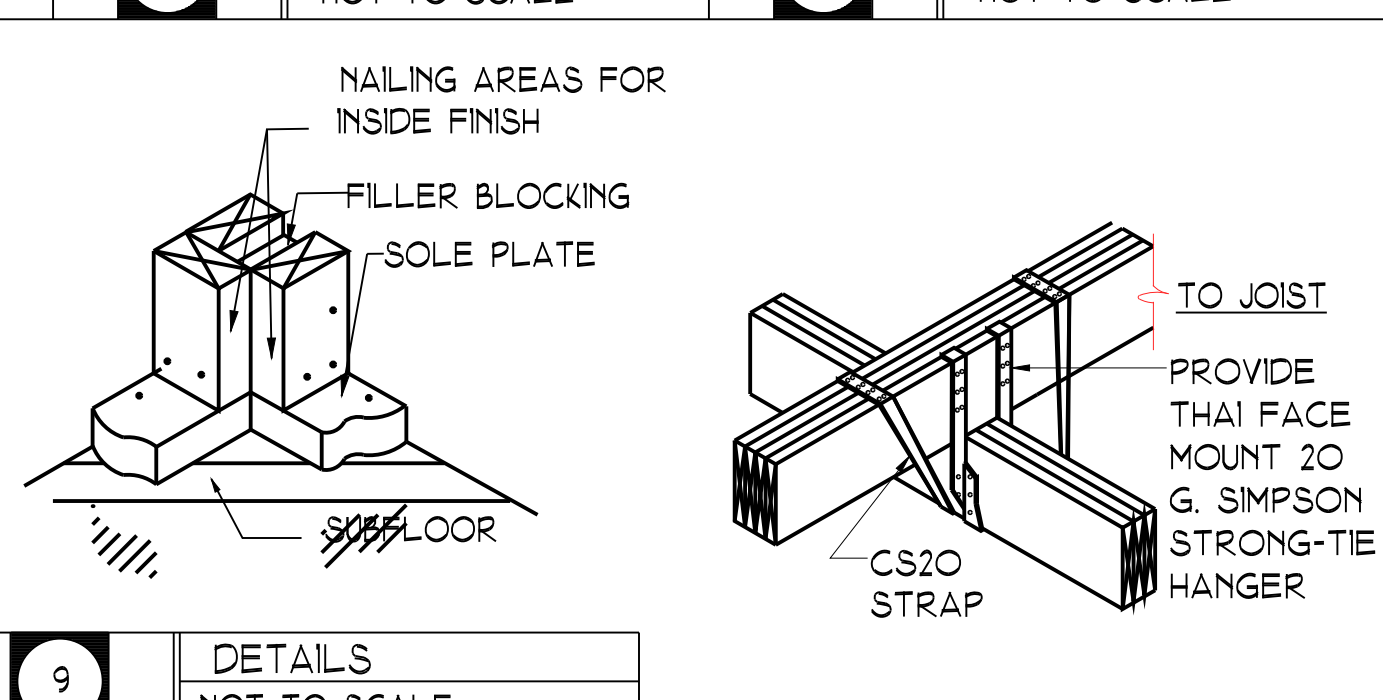
6 DETAIL NOT TO SCALE



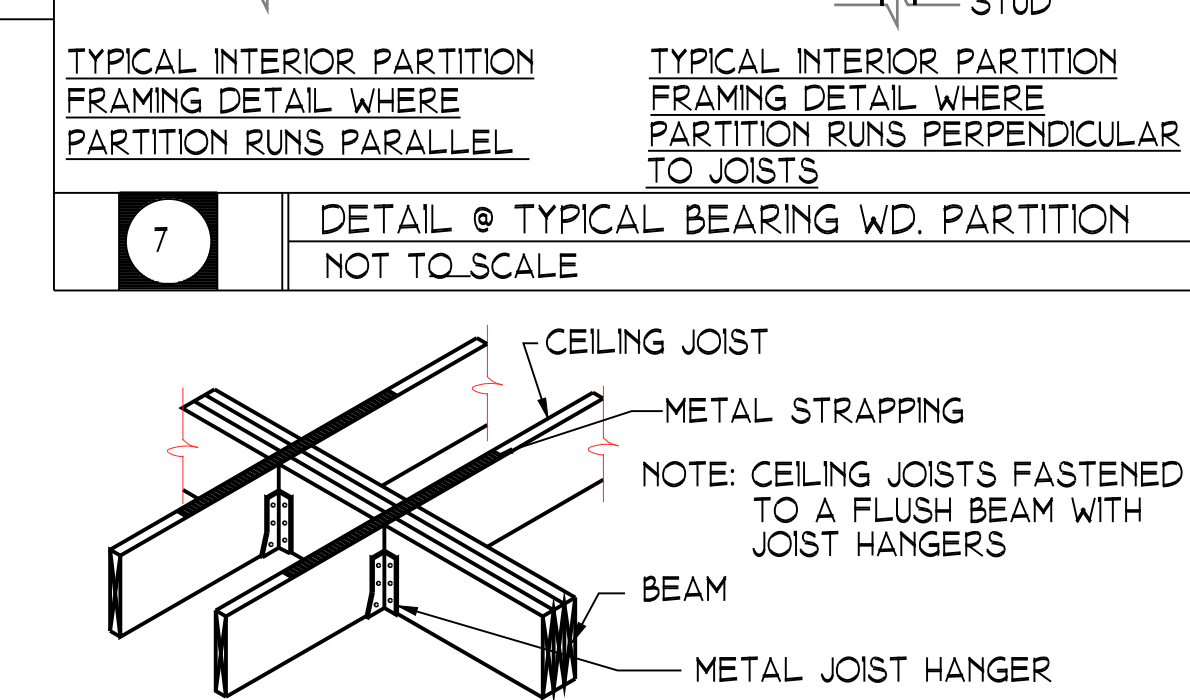
7 DETAIL @ TYPICAL BEARING WD. PARTITION NOT TO SCALE



8 TYP. WD. PARTITION NOT TO SCALE



9 DETAILS NOT TO SCALE



DETAILS NOT TO SCALE



100 EXECUTIVE BLVD. SUITE 204
OSSINGING, NY 10562
PHONE: (914) 944-3377
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JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

REVISIONS	DATE	BY
P.B. COMMENTS	8/4/2021	ARQ.
COORDINATION	10/13/2023	ARQ.
B.D. COMMENTS	11/13/2023	ARQ.

DRAWING TITLE:
DETAILS

PROJECT:
ADD. & ALTERATION
AT: SARMIENTO PROP.

PROJECT ADDRESS:
3176 ALBANY POST RD.
BUCHANAN, N.Y. 10511

DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

SEAL & SIGNATURE



DATE: 11/19/2020
PROJECT NO: 20-117
DRAWING BY: ARQ
CHECKED BY: J.B.H.

DWG. NO: G-1
CAD FILE NO: 10 OF 11

