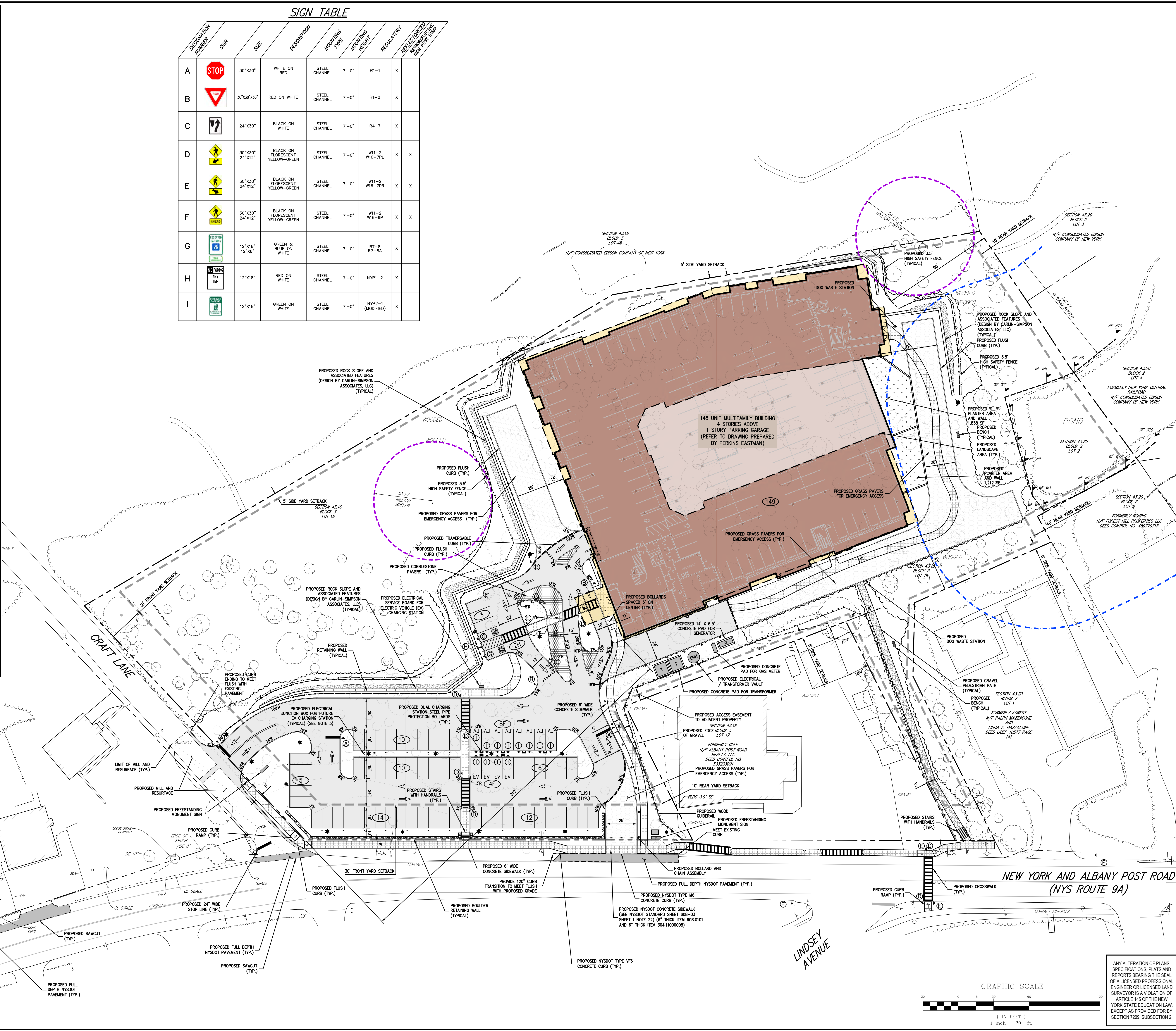


LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED BUILDING ROOF OVERHANG AREA
	PROPOSED COURTYARD AREA
	PROPOSED SITE CONCRETE CURB
	PROPOSED NYSOT TYPE T4 TRAVERSABLE CURB
	PROPOSED NYSOT TYPE V6 CONCRETE CURB
	PROPOSED NYSOT M6 CONCRETE CURB
	PROPOSED FLUSH CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED SAWCUT LINE
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED BUILDING OVERHANG
	PROPOSED SITE CONCRETE SIDEWALK
	PROPOSED NYSOT CONCRETE SIDEWALK
	PROPOSED GRAVEL PEDESTRIAN PATH
	PROPOSED DROP CURB AND RAMP
	PROPOSED SITE PAVEMENT
	PROPOSED COBBLE STONE PAVERS
	PROPOSED GRASS PAVERS
	PROPOSED LANDSCAPE AREA
	PROPOSED STORMWATER PLANTERS
	PROPOSED ROCK SLOPE (DESIGN BY CARLIN-SIMPSON ASSOCIATES, LLC)
	PROPOSED CONCRETE APRON
	PROPOSED NYSOT FULL DEPTH PAVEMENT
	PROPOSED MILL & RESURFACE
	PROPOSED RETAINING WALL (DESIGN BY CARLIN-SIMPSON ASSOCIATES, LLC)
	PROPOSED BOULDER RETAINING WALL (DESIGN BY CARLIN-SIMPSON ASSOCIATES, LLC)
	PROPOSED LIGHT
	PROPOSED 24' WIDE WHITE STOP LINE
	TRAFFIC SIGN LOCATION & DESIGNATION
	PEDESTRIAN CROSSING
	PROPOSED TREE LINE
	PROPOSED FENCE
	PROPOSED SWALE

SIGN TABLE									
DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	REFLECTORIZED	REFLECTORIZED BY SIGN POST STOP	
A		30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X		
B		30"x30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R1-2	X		
C		24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	R4-7	X		
D		30"x30" 24"x12"	BLACK ON FLORESCENT YELLOW-GREEN	STEEL CHANNEL	7'-0"	W1-2 W16-7PL	X	X	
E		30"x30" 24"x12"	BLACK ON FLORESCENT YELLOW-GREEN	STEEL CHANNEL	7'-0"	W1-2 W16-7PR	X	X	
F		30"x30" 24"x12"	BLACK ON FLORESCENT YELLOW-GREEN	STEEL CHANNEL	7'-0"	W1-2 W16-9P	X	X	
G		12"x18" 12"x6"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8 R7-8A	X		
H		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2	X		
I		12"x18"	GREEN ON WHITE	STEEL CHANNEL	7'-0"	NYP2-1 (MODIFIED)	X		

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "TOPOGRAPHIC SURVEY," PREPARED BY JMC, PLLC, REVISED 12/01/2023.
- WETLANDS SHOWN HEREON AS FLAGGED BY ECOSCIENCES, INC. ON NOVEMBER 28, 2023, AND SURVEYED BY JMC, PLLC ON DECEMBER 1, 2023.
- ALL PROPOSED PARKING SPACES LOCATED OUTSIDE OF THE BUILDING SHALL BE PROVIDED WITH AN ELECTRICAL JUNCTION BOX IN THE LOCATION OF A FUTURE ELECTRIC VEHICLE CHARGING STATION WHICH CAN SERVE THE PARKING SPACE. THE ELECTRICAL JUNCTION BOX SHALL BE CONNECTED TO THE PROPOSED ELECTRICAL SERVICE BOARD WITH EMPTY ELECTRICAL CONDUIT.



No.	Revision	Date	By
1.	VILLAGE SUBMISSION	10/30/2023	EJK
2.	SWPPP SUBMISSION	11/09/2023	EJK
3.	NYSOT SUBMISSION	12/07/2023	EJK
4.	VILLAGE SUBMISSION	12/06/2023	EJK
5.	REVISION PER VILLAGE ENGINEER COMMENTS	12/28/2023	EJK
6.	VILLAGE SUBMISSION	01/29/2024	SPC
7.	REVISION PER VILLAGE COMMENTS	02/29/2024	SPC

APPLICANT: **BUCHANAN DEV AMS LLC**
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 FORT LEE, NJ 07024

ARCHITECT: **PERKINS EASTMAN**
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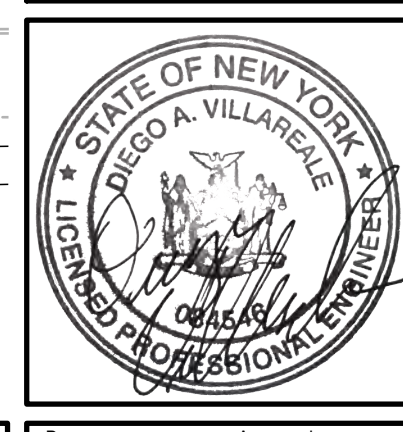
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SITE LAYOUT PLAN

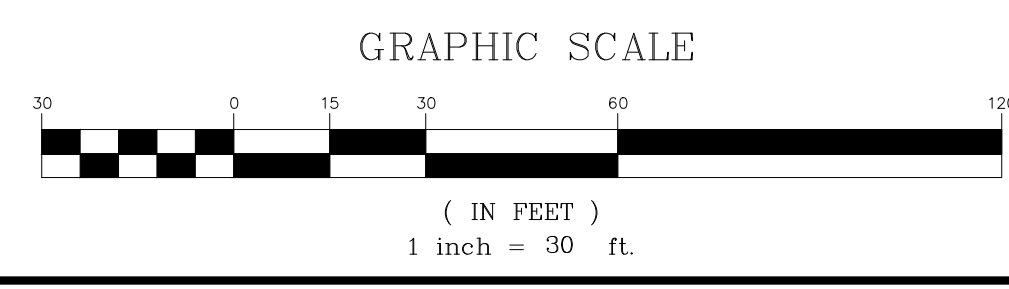
AMS BUCHANAN
 ALBANY POST ROAD & CRAFT LANE
 VILLAGE OF BUCHANAN, NEW YORK



Drawn: EJK Approved: AN
 Scale: 1" = 30'
 Date: 10/17/2023
 Project No: 22062
 Drawing No: LAY LAY.001
C-100

NOT FOR CONSTRUCTION

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



LEGEND

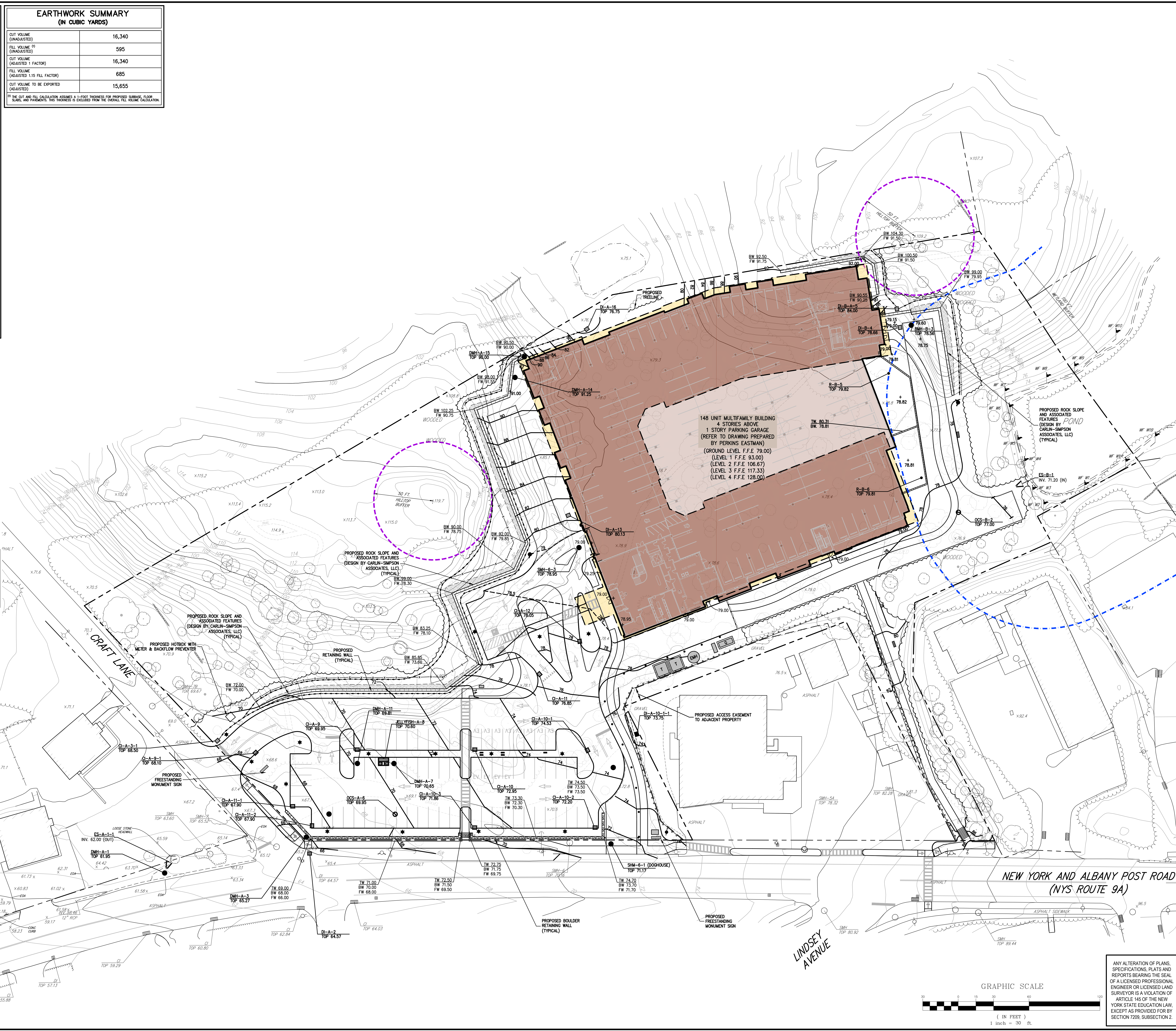
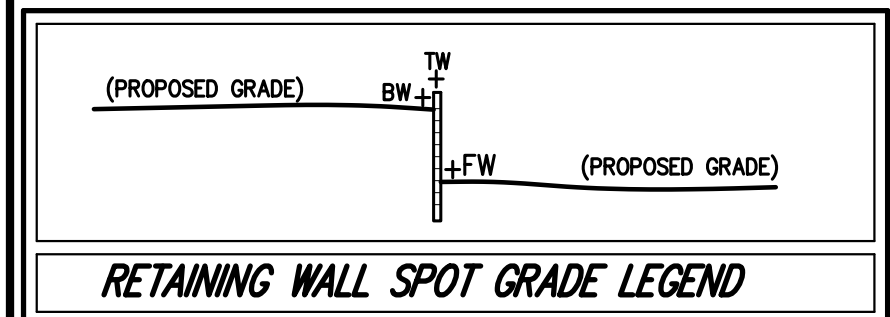
	EXISTING PROPERTY LINE
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	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT GRADE
	EXISTING STONE WALL
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED LIGHT
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED SWALE
	PROPOSED RETAINING WALL (DESIGN BY CARLIN-SIMPSON & ASSOCIATES, LLC)
	PROPOSED BOULDER RETAINING WALL (DESIGN BY CARLIN-SIMPSON & ASSOCIATES, LLC)
	PROPOSED ROCK SLOPE (DESIGN BY CARLIN-SIMPSON & ASSOCIATES, LLC)

**EARTHWORK SUMMARY
(IN CUBIC YARDS)**

CUT VOLUME (UNADJUSTED)	16,340
FILL VOLUME (UNADJUSTED)	595
CUT VOLUME (ADJUSTED 1 FACTOR)	16,340
FILL VOLUME (ADJUSTED 1.15 FACTOR)	685
CUT VOLUME TO BE EXPORTED (ADJUSTED)	15,655

(1) THE CUT AND FILL CALCULATION ASSUMES A 4" THICKNESS FOR PROPOSED SURFACE, FLOOR SLAB, AND PAVEMENTS. THIS THICKNESS IS EXCLUDED FROM THE OVERALL FILL VOLUME CALCULATION.

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "TOPOGRAPHIC SURVEY," PREPARED BY JMC, PLLC, REVISED 12/01/2023.
 - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "BORING & TEST PIT LOCATION PLAN," DATED 12/15/2023, PREPARED BY CARLIN-SIMPSON & ASSOCIATES, LLC.
 - WETLANDS SHOWN HEREON AS FLAGGED BY ECOSCIENCES, INC. ON NOVEMBER 28, 2023 AND SURVEYED BY JMC, PLLC ON DECEMBER 1, 2023.
 - DURING CONSTRUCTION OF THE STORMWATER PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 - EXCAVATIONS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS AT ANY TIME DURING THE COURSE OF CONSTRUCTION.
 - CONTRACTOR SHALL REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR FURTHER DIRECTION REGARDING SITE STABILIZATION THROUGHOUT THE COURSE OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR OVER EXCAVATION OF ROCK MATERIAL AND SUBSEQUENT BACKFILL MATERIAL REQUIRED TO ACCOMMODATE THE INSTALLATION OF THE SPECIFIED PLANT MATERIAL. LANDSCAPED AREAS CONSISTING OF TREES AND SHRUBS SHALL BE OVER EXCAVATED TO PROVIDE A MINIMUM OF 36 INCHES OF APPROVED BACKFILL SUITABLE FOR PLANTING. LANDSCAPED AREAS CONSISTING OF ONLY SHRUBS SHALL BE OVER EXCAVATED TO PROVIDE A MINIMUM OF 24 INCHES OF APPROVED BACKFILL SUITABLE FOR PLANTING. ALL OTHER LANDSCAPED AREAS INCLUDING LAWN AREAS SHALL BE OVER EXCAVATED TO PROVIDE A MINIMUM OF 12 INCHES OF APPROVED BACKFILL SUITABLE FOR PLANTING. ALL BACKFILL MATERIAL SHALL BE APPROVED BY THE OWNERS FIELD REPRESENTATIVE AND THE PROJECTS GEOTECHNICAL CONSULTANT.



NOT FOR CONSTRUCTION

No.	Date	Revision
1.	10/20/2023	EGK
2.	11/09/2023	EGK
3.	12/07/2023	EGK
4.	12/06/2023	EGK
5.	REVISION PER VILLAGE ENGINEER COMMENTS	EGK
6.	REVISION PER VILLAGE ENGINEER COMMENTS	EGK
7.	REVISION PER VILLAGE ENGINEER COMMENTS	EGK

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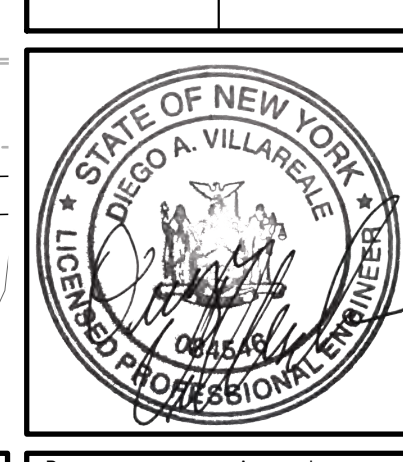
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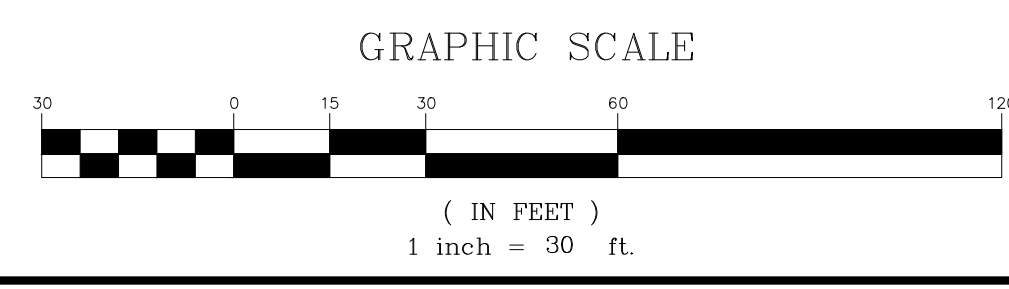
SITE GRADING PLAN

AMS BUCHANAN
ALBANY POST ROAD & CRAFT LANE
VILLAGE OF BUCHANAN, NEW YORK



Drawn: EGK Approved: AN
Scale: 1" = 30'
Date: 10/17/2023
Project No: 22062
Drawing No: C-200

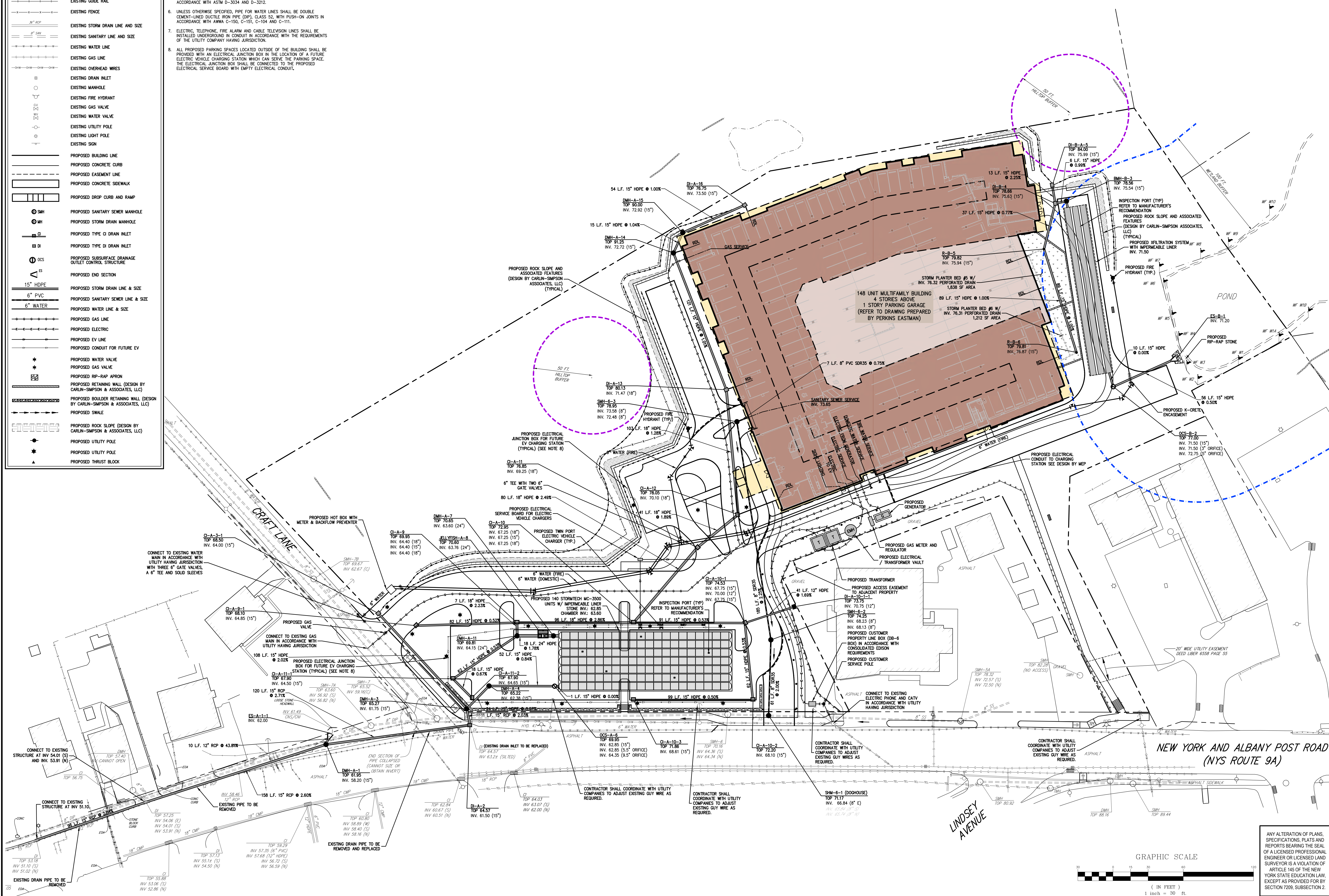
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LEGEND	
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	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED EASEMENT LINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
	PROPOSED END SECTION
	PROPOSED STORM DRAIN LINE & SIZE
	PROPOSED SANITARY SEWER LINE & SIZE
	PROPOSED WATER LINE & SIZE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED EV LINE
	PROPOSED CONDUIT FOR FUTURE EV
	PROPOSED WATER VALVE
	PROPOSED GAS VALVE
	PROPOSED RP-RAP APRON
	PROPOSED RETAINING WALL (DESIGN BY CARLIN-SIMPSON & ASSOCIATES, LLC)
	PROPOSED BOULDER RETAINING WALL (DESIGN BY CARLIN-SIMPSON & ASSOCIATES, LLC)
	PROPOSED SWALE
	PROPOSED ROCK SLOPE (DESIGN BY CARLIN-SIMPSON & ASSOCIATES, LLC)
	PROPOSED UTILITY POLE
	PROPOSED UTILITY POLE
	PROPOSED THRUST BLOCK

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY," PREPARED BY JMC, PLLC, REVISED 12/01/2023.
 - WETLANDS SHOWN HEREON AS FLAGGED BY ECOSOLSCS, INC. ON NOVEMBER 28, 2023 AND SURVEYED BY JMC, PLLC ON DECEMBER 1, 2023.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER, DURING CONSTRUCTION OF THE PRACTICE, THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATER-TIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), 300-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-UNITED DUCTILE IRON PIPE (DIP), CLASS 52, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - ALL PROPOSED PARKING SPACES LOCATED OUTSIDE OF THE BUILDING SHALL BE PROVIDED WITH AN ELECTRICAL JUNCTION BOX IN THE LOCATION OF A FUTURE ELECTRIC VEHICLE CHARGING STATION WHICH CAN SERVE THE PARKING SPACE. THE ELECTRICAL JUNCTION BOX SHALL BE CONNECTED TO THE PROPOSED ELECTRICAL SERVICE BOARD WITH EMPTY ELECTRICAL CONDUIT.

NOT FOR CONSTRUCTION



No.	Revision	Date	By
1.	VILLAGE SUBMISSION	10/20/2023	EJK
2.	SWPPP SUBMISSION	11/09/2023	EJK
3.	WDOH SUBMISSION	12/07/2023	EJK
4.	WDOH SUBMISSION	12/06/2023	EJK
5.	REVISED PER VILLAGE ENGINEER COMMENTS	12/26/2023	EJK
6.	VILLAGE SUBMISSION	01/29/2024	EJK
7.	REVISED PER VILLAGE ENGINEER COMMENTS	02/29/2024	SP

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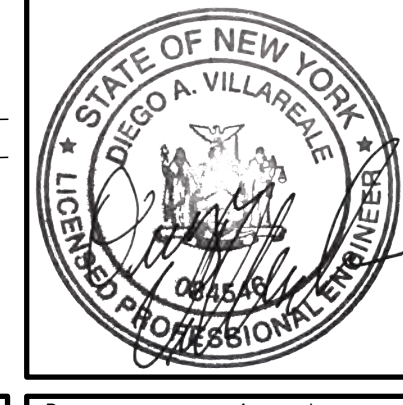
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SITE UTILITIES PLAN

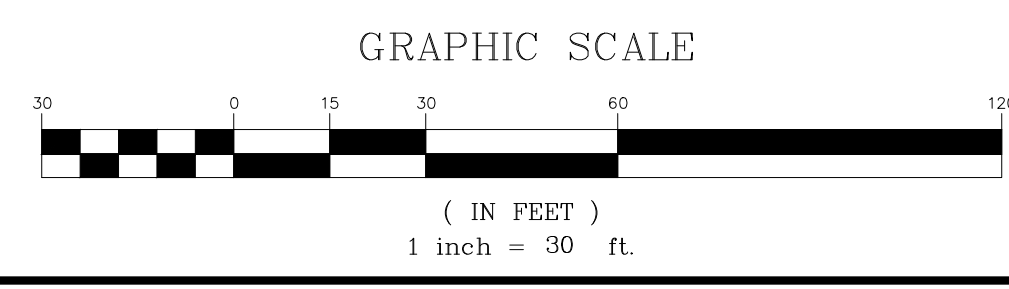
AMS BUCHANAN
 ALBANY POST ROAD & CRAFT LANE
 VILLAGE OF BUCHANAN, NEW YORK



Drawn: EJK Approved: AN
 Scale: 1" = 30'
 Date: 10/17/2023
 Project No: 22062
 Drawing No: 2206-01 UTIL
 Drawing Title: UTIL

C-300

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LEGEND

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
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[Symbol]	EXISTING BUILDING LINE
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[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING GUIDE RAIL
[Symbol]	EXISTING TREE
[Symbol]	EXISTING PAINT
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED BUILDING LINE
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
[Symbol]	PROPOSED PERVIOUS PAVEMENT
[Symbol]	PROPOSED STORMWATER PLANTER
[Symbol]	PROPOSED LANDSCAPE AREA
[Symbol]	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
[Symbol]	PROPOSED BOULDER RETAINING WALL (DESIGN BY OTHERS)
[Symbol]	PROPOSED FENCE
[Symbol]	2-4" WIDE YELLOW LINES 8" O.C.
[Symbol]	12" WIDE WHITE STOP LINE
[Symbol]	TRAFFIC SIGN LOCATION & DESIGNATION
[Symbol]	PROPOSED LIGHT
[Symbol]	PROPOSED DECIDUOUS TREE
[Symbol]	PROPOSED EVERGREEN TREE
[Symbol]	PROPOSED SHRUBS AND PERENNIALS

NOTES

A: PLANT MATERIAL

- ALL PLANT MATERIAL SHALL BE NATIVE PLANT SPECIES AS SPECIFIED ON THE PLANS.
- PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
- ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN HORTICULTURE (ANSI Z601), LATEST EDITION.
- PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BARROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.

B: SITE PREPARATION AND PLANTING

- CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
- SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
- ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO PARKING AREAS SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF PARKING AREA.
- ALL PLANTINGS ADJACENT TO LAWN AREAS SHALL HAVE A 6" DEEP VERTICAL CUT EDGE ALONG THE OUTSIDE OF THE PLANTING BED.
- ALL LAWN AREAS (SOO OR SEED) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SOO OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.

C: MAINTENANCE AND WARRANTY

- ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANT(S) AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
- ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
TREES					
CW	1	Cornus florida 'White' / White Flowering Dogwood	15 gal		
EVERGREEN TREES					
AC	8	Abies concolor / White Fir	8'-10" HT.	B & B	
JT	3	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	8'-8" HT.	B & B	
TO	18	Thuja occidentalis / American Arborvitae	8'-10" HT.	B & B	
FLOWERING TREES					
AMC	6	Amelanchier canadensis / Shadblow	8'-10" HT.	B & B	
CC	5	Cercis canadensis / Eastern Redbud Multi-trunk	8'-10" HT.	B & B	
DECIDUOUS TREES					
ARB	14	Acer rubrum 'Bowhall' / Bowhall Red Maple	2" - 2 1/2" Cal.	B & B	
AR	7	Acer rubrum 'Franksred' / Red Sunset® Maple	3" - 3 1/2" Cal.	B & B	
NS	4	Nyssa sylvatica / Tupelo	2 1/2" - 3" Cal.	B & B	
QB	1	Quercus bicolor / Swamp White Oak	2" - 2 1/2" Cal.	B & B	
QR	3	Quercus rubra / Red Oak	2 1/2" - 3" Cal.	B & B	
QR	3	Quercus rubra / Red Oak	8'-10" HT.	B & B	
SHRUBS					
CK2	50	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	5 gal		
CO	8	Cephalanthus occidentalis / Buttonbush	8 GAL.	CONT.	
HI2	7	Hydrangea arborescens 'Invicibelle' / Invicibelle Spirit Hydrangea	5 gal	CONT.	
IS	6	Ilex glabra 'Shamrock' / Inkberry	3" CAL.	CONT.	
MG	31	Myrica gale / Sweetgale	3 GAL.	CONT.	
RNI	29	Rhododendron Maximum / Rose Bay	3" - 4" HT.	B & B	
SC	11	Sambucus canadensis / American Elderberry	5 gal	CONT.	
PERENNIALS/GRASSES					
CV	3	Coreopsis verticillata / Tickseed	1 GAL.	CONT.	
EP	5	Echinacea x 'Pastorale' / PowWow® White Coneflower	1 GAL.	CONT.	
SH2	21	Sporobolus heterolepis / Prairie Dropseed	1 gal.	CONT.	
GROUND COVERS					
NO	964 sf	No mow mix no mow mix Seed mix / 300 LB. PER ACRE	flat		
CK	53 sf	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 GAL.	CONT.	
IV	77	Iris versicolor / Blue Flag	1 GAL.	CONT.	
RGL	35	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal		

WETLAND BUFFER AND INVASIVE SPECIES MITIGATION NOTES

- INSTALL EROSION CONTROL MEASURES.
- REMOVE ALL TRASH, DEBRIS, AND DEAD/OVERGROWN VEGETATION.
- REMOVE INVASIVE PLANTS AS PER THE ENVIRONMENTAL INSPECTION AND MITIGATION REPORT IN ACCORDANCE WITH ALL APPROVED NYSDEC PRACTICES.
- ALL INVASIVE PLANTS SHALL BE A CUT STUMP APPLICATION OF HYSSOC APPROVED ORGANIC HERBICIDE APPLIED IMMEDIATELY AFTER CUTTING. CUT STUMP TREATMENTS SHOULD BE CONDUCTED DURING THE GROWING SEASON AFTER FULL LEAF EXPANSION WHEN NUTRIENTS ARE ACTIVELY BEING TRANSPORTED TO THE ROOTS. DELAY IN APPLICATION AFTER CUTTING MAY RESULT IN REDUCED EFFECTIVENESS. SPECIAL AQUATIC FORMULATIONS ARE REQUIRED FOR ALL WETLAND ZONES. THE CONTRACTOR SHALL BE REQUIRED TO HAVE A STATE ISSUED PESTICIDE APPLICATOR LICENSE WHEN APPLYING THE ORGANIC CHEMICAL AND PERMITS AS REQUIRED.
- IF INVASIVE VINES ARE TWINGING AROUND OTHER HOST SHRUBS OR TREES, AVOID APPLYING HERBICIDE TO THE PLANT.
- DISPOSAL: REMOVE ALL PLANT PARTS FROM SITE IN COVERED TRUCK PER NYSDEC APPROVAL. DISPOSAL METHODS: DISPOSE OF IN APPROVED LANDFILL OR INCINERATE WITH APPROPRIATE PERMITS.
- SANITATION: CLEAN ALL CLOTHING, BOOTS, AND EQUIPMENT TO PREVENT SPREAD OF SEED.
- ENGINEER OR LANDSCAPE ARCHITECT, CONSULTANT TO REVIEW AND APPROVE AREA PRIOR TO HERBICIDE TREATMENT AND PLANTING.
- THE ENTIRE SURFACE AREA WILL BE SPRAYED WITH AN APPROVED GLYPHOSATE BASED HERBICIDE FOR WETLAND USE (I.E. RODOX OR ACCORD). AREA TO SIT FOR TWO WEEKS PRIOR TO PLANTINGS FOR SEEDING.
- SEED AREA AS PER PLANS AND RATES AFTER TWO WEEKS MINIMUM FROM INITIAL SPRAYING OF HERBICIDE.
- INSTALL ALL TREES + SHRUBS + PERENNIALS PER PLAN + SPECIFICATION.
- HAND BROADCASTING SEED METHODS AS FOLLOWS: WILDFLOWER AND GRASS SEED MIXES AS NOTED ON PLANS (APPLIED AT A RATE OF 40 LBS/ACRE) TO INCLUDE A NURSE CROP OF ANNUAL RYE GRASS AT A RATE OF 1 LB PER 5,000 SQ.FT. MIX ALL SEED WITH A CARRIER TO CONSIST OF SUITABLY DAMPENED SAND/ST OR VERMICULITE (APPROXIMATELY TWO BUSHEL BASKETS OF SAND/ST PER 1,000 SQ.FT.).
- THE SEED CARRIER MIXTURE TO BE DAMPENED WITH WATER, JUST UNTIL IT IS SLIGHTLY DAMP TO THE TOUCH. THE WATER IS NECESSARY SO THE SEED ADHERES TO THE CARRIER, WHICH AIDS IN EVEN DISTRIBUTION OF THE SEED.
- AFTER MIXING YOUR SEED INTO THE CARRIER, DIVIDE THIS MIXTURE INTO TWO EQUAL PARTS.
- HAND BROADCAST ONE HALF OF THE SEED MIXTURE OVER THE ENTIRE SITE (I.E. IN A NORTH TO SOUTH DIRECTION).
- HAND BROADCAST THE SECOND HALF OF THE SEED OVER THE SITE, WALKING PERPENDICULAR TO THE DIRECTION YOU SEEDED IN THE FIRST HALF. THIS "CROSS PATTERN" SEEDING ENSURES EVEN SEED DISTRIBUTION.
- RAKE OR DRAG THE AREA WITH 1/4" - 1/2" OF SOIL. (DO NOT BRING IN TOPSOIL TO ACHIEVE THIS, AS THIS WILL POTENTIALLY INTRODUCE MORE WEED SEED ON SITE).
- FROM THE SEEDING AREA BY ROLLING THE SITE WITH A HAND ROLLER, WILDFLOWER SEED AND GRASSES REQUIRES FIRM SEED TO SOIL CONTACT FOR GOOD GERMINATION.
- MULCH THE PLANTING AREA WITH APPROXIMATELY 1" OF WEED FREE STRAW MULCH CAN BE LAD BY HAND OR BLOWN INTO THE SITE, MECHANICALLY.



No.	Revision	Date	By
1.	VILLAGE SUBMISSION	10/30/2023	EJK
2.	NYSDEC SUBMISSION	12/07/2023	EJK
3.	VILLAGE SUBMISSION	12/06/2023	EJK
4.	REVISED PER VILLAGE ENGINEER COMMENTS	12/26/2023	EJK
5.	VILLAGE SUBMISSION	01/26/2024	SPC
6.	REVISED PER VILLAGE COMMENTS	02/28/2024	SPC

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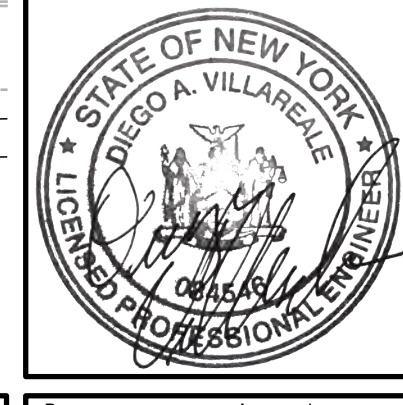
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LANDSCAPING PLAN

AMS BUCHANAN
 ALBANY POST ROAD & CRAFT LANE
 VILLAGE OF BUCHANAN, NEW YORK



Drawn: EJK Approved: AN
 Scale: 1" = 30'
 Date: 10/17/2023
 Project No: 22062
 2002-LND LAND LANDscr
 Drawing No: **L-100**

NOT FOR CONSTRUCTION

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

