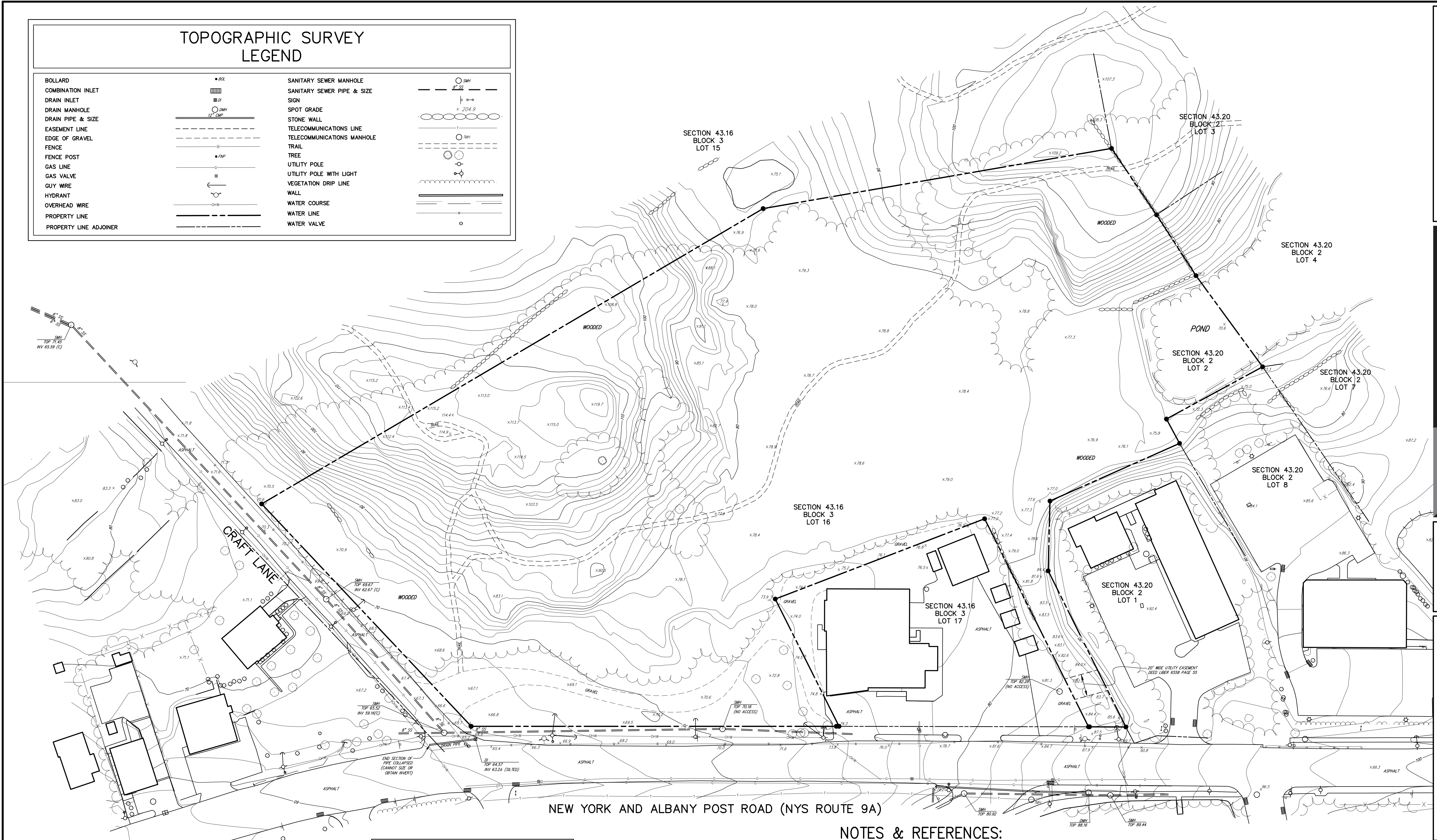


Appendix B
Proposed Project Plans

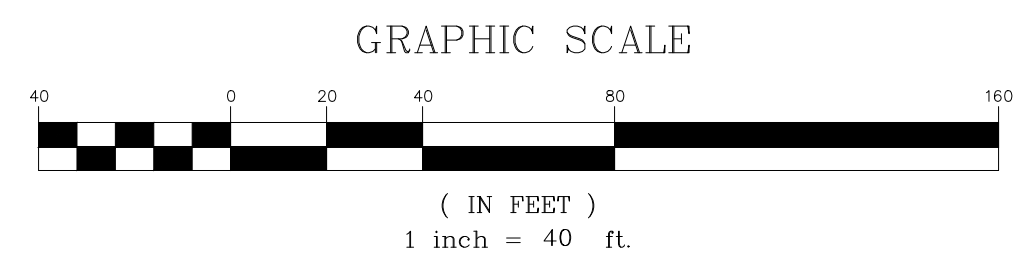
TOPOGRAPHIC SURVEY LEGEND

BOLLARD	● BOLL	SANITARY SEWER MANHOLE	○ SMW
COMBINATION INLET	▣	SANITARY SEWER PIPE & SIZE	— 8" SS —
DRAIN INLET	○ DI	SIGN	⊕
DRAIN MANHOLE	○ DMH	SPOT GRADE	x 204.9
DRAIN PIPE & SIZE	— 12" CMP —	STONE WALL	—
EASEMENT LINE	- - - - -	TELECOMMUNICATIONS LINE	—
EDGE OF GRAVEL	- - - - -	TELECOMMUNICATIONS MANHOLE	○ TMH
FENCE	—	TRAIL	—
FENCE POST	● FMP	TREE	○
GAS LINE	—	UTILITY POLE	○
GAS VALVE	⊕	UTILITY POLE WITH LIGHT	○
GUY WIRE	—	VEGETATION DRIP LINE	—
HYDRANT	⊕	WALL	—
OVERHEAD WIRE	—	WATER COURSE	—
PROPERTY LINE	—	WATER LINE	—
PROPERTY LINE ADJOINER	—	WATER VALVE	○



ABBREVIATIONS

CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
(D)	DEED
E	EAST
HDPE	HIGH DENSITY POLYETHYLENE
N	NORTH
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
S	SOUTH
W	WEST



NOTES & REFERENCES:

- THIS MAP IS BASED UPON A FIELD SURVEY COMPLETED ON FEBRUARY 2, 2022. AT THE TIME THE FIELD SURVEY WAS COMPLETED, THE GROUND WAS SNOW COVERED. TOPOGRAPHY AND SOME FEATURES SHOWN HEREON ARE DERIVED USING PHOTOGRAMMETRIC METHODS SUPPLEMENTED WITH GROUND MEASUREMENTS. TOPOGRAPHY AND MAPPING WERE PROCESSED AND COMPILED BY GOLDEN AERIAL SURVEYS, INC. PHOTOGRAPHY FOR PHOTOGRAMMETRIC MAPPING WAS TAKEN IN APRIL 2017.
- THIS MAP IS PREPARED TO DEPICT THE TOPOGRAPHIC FEATURES AND UTILITIES AS SHOWN HEREON.
- CONTOUR INTERVAL IS (2) TWO FOOT. VERTICAL DATUM IS REFERENCED TO NAVD 1988 WHICH WAS OBTAINED BY GPS METHODS.
- THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION. SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE AND A SUBSURFACE UTILITY MARKOUT PERFORMED BY UTILITY DETECTION, INC.
- UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUB-DIVISION 2.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY, MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES. UNAUTHORIZED REPRODUCTION OF THIS MAP IS A VIOLATION APPLICABLE LAWS.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THOMAS M. SCHMIDT NY LIC. NO. 50221

DATE

No.	Revision	Date	By

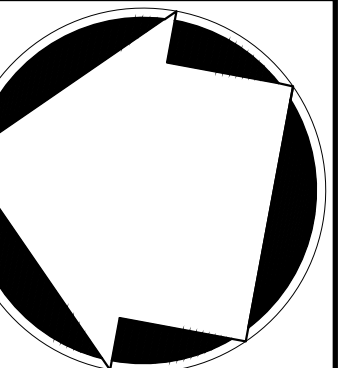
Previous Editions Obsolete

AMS ACQUISITIONS
488 MADISON AVENUE, SUITE 1901
NEW YORK, NY 10022

JMC Planning, Engineering, Landscape
Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcplic.com



TOPOGRAPHIC SURVEY
CRAFT LANE AND ALBANY POST ROAD
VILLAGE OF BUCHANAN, TOWN OF CORTLANDT
WESTCHESTER COUNTY, STATE OF NEW YORK



Drawn: TS Approved: TS
Scale: 1" = 40'
Date: 02/15/2022
Project No: 21130
21130-TS-1.dwg TS-1.tbl
Drawing No: TS-1

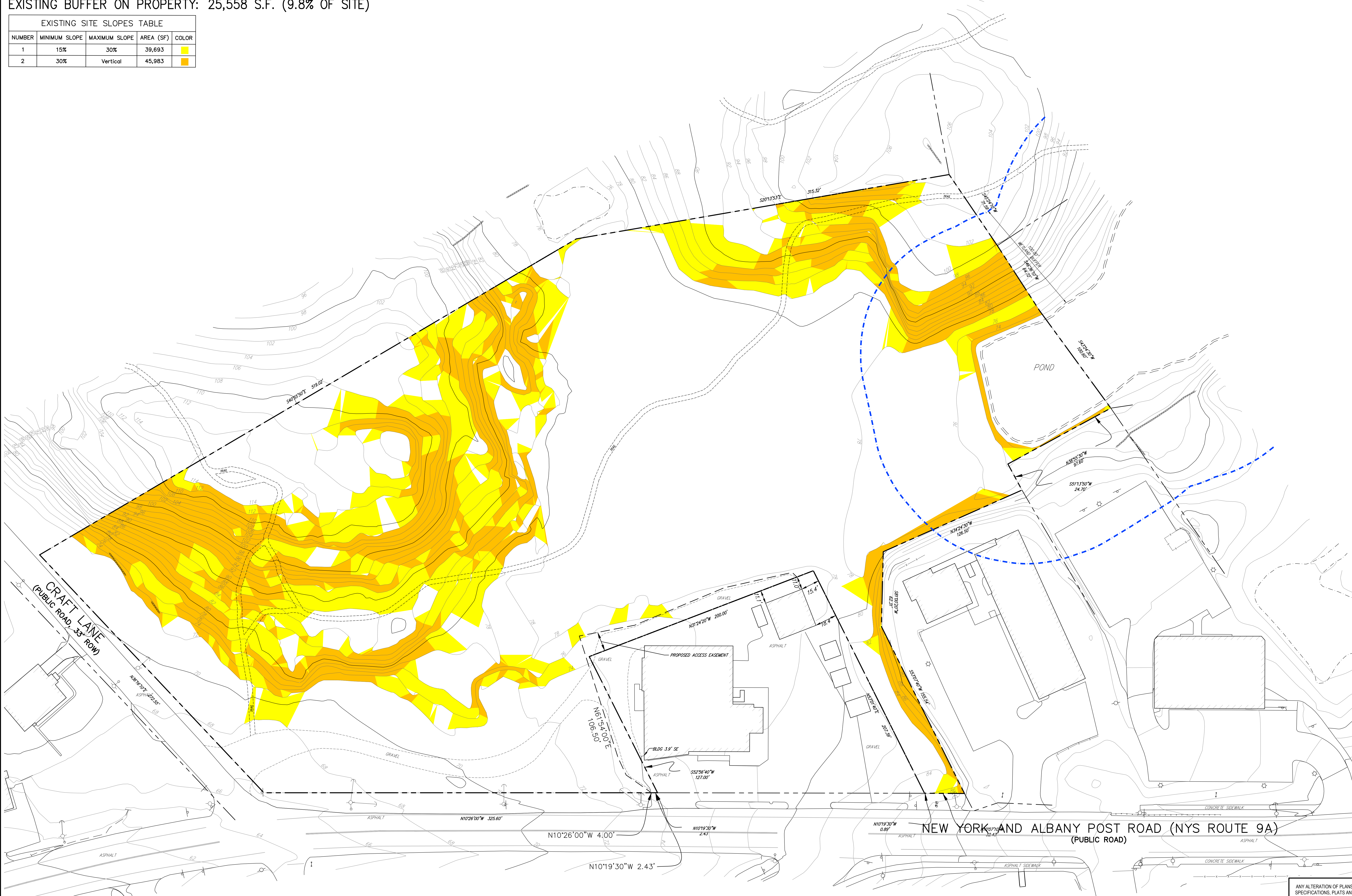
STEEP SLOPES

EXISTING: ±259,667 S.F. / ±5.96 A.C.
 EXISTING STEEP SLOPES: 85,655.75 S.F. (±33% OF SITE)

WETLAND BUFFER

EXISTING BUFFER ON PROPERTY: 25,558 S.F. (9.8% OF SITE)

EXISTING SITE SLOPES TABLE				
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	AREA (SF)	COLOR
1	15%	30%	39,693	Yellow
2	30%	Vertical	45,983	Orange



NOT FOR CONSTRUCTION

COPYRIGHT © 2023 BY JMC. ALL RIGHTS RESERVED. THIS PLAN IS THE PROPERTY OF JMC AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF JMC. ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

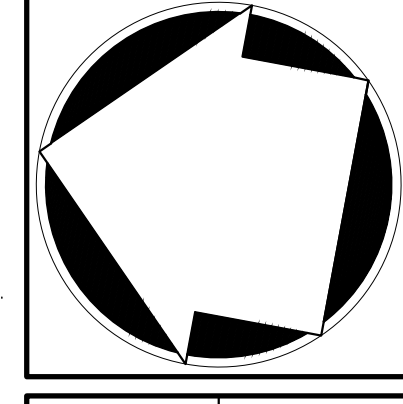
No.	Revision	Date	By

APPLICANT/OWNER:
AMS ACQUISITIONS
 ONE BRIDGE PLAZA NORTH, SUITE 840
 FORT LEE, NJ 07024

ARCHITECT:
PERKINS EASTMAN
 677 WASHINGTON BOULEVARD, SUITE 101
 STAMFORD, CT 06901

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Mayer Consulting, Inc.

120 BEDFORD ROAD • BRIDGEMAN, NY 10504
 voice 914.273.5225 • fax 914.273.2192
www.jmcpllc.com



EXISTING SLOPE MAP

PROPOSED MULTI-FAMILY DEVELOPMENT
 3119 ALBANY POST ROAD
 BUCHANAN, NEW YORK

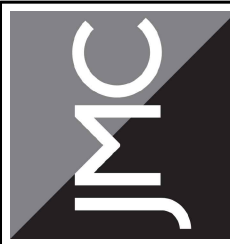
Drawn:	EJK	Approved:	AN
Scale:	1" = 30'		
Date:	03/10/2023		
Project No:	22062		
2002-C99-3	EX-SLOPE	E-SLOPE	
Drawing No:	SM-1		



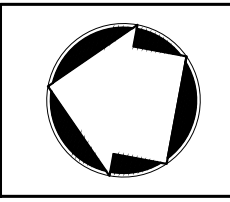
3119 ALBANY POST ROAD

MULTI-FAMILY DEVELOPMENT

BUCHANAN, NEW YORK



120 BEDFORD RD
 ARMONK
 NY 10504
 (914) 273-5225
 fax 273-2102
 JMCPLLC.COM



SOIL MAP

DATE: 03/10/2023

JMC PROJECT: 22062

FIGURE: SM-1

SCALE: 1" = 100'

COPYRIGHT © 2022 by JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical, photocopying, recording or otherwise, without the prior written permission of JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC | JMC SITE DEVELOPMENT CONSULTANTS, LLC | JOHN MEYER CONSULTING, INC. (JMC). Any modifications or alterations to this document without the written permission of JMC shall render them invalid and unusable.

22062-Existing.dwg; SOILED.tbl

STEEP SLOPES IMPACT

EXISTING: ±259,667 S.F. / ±5.96 A.C.
 EXISTING STEEP SLOPES: 85,655.75 S.F. (±33% OF SITE)
 PROPOSED IMPACTED 15-30% STEEP SLOPES: **12,887 S.F.(±5.0% OF SITE)**
 PROPOSED IMPACTED 30% > STEEP SLOPES: **7,883 (±3.0% OF SITE)**

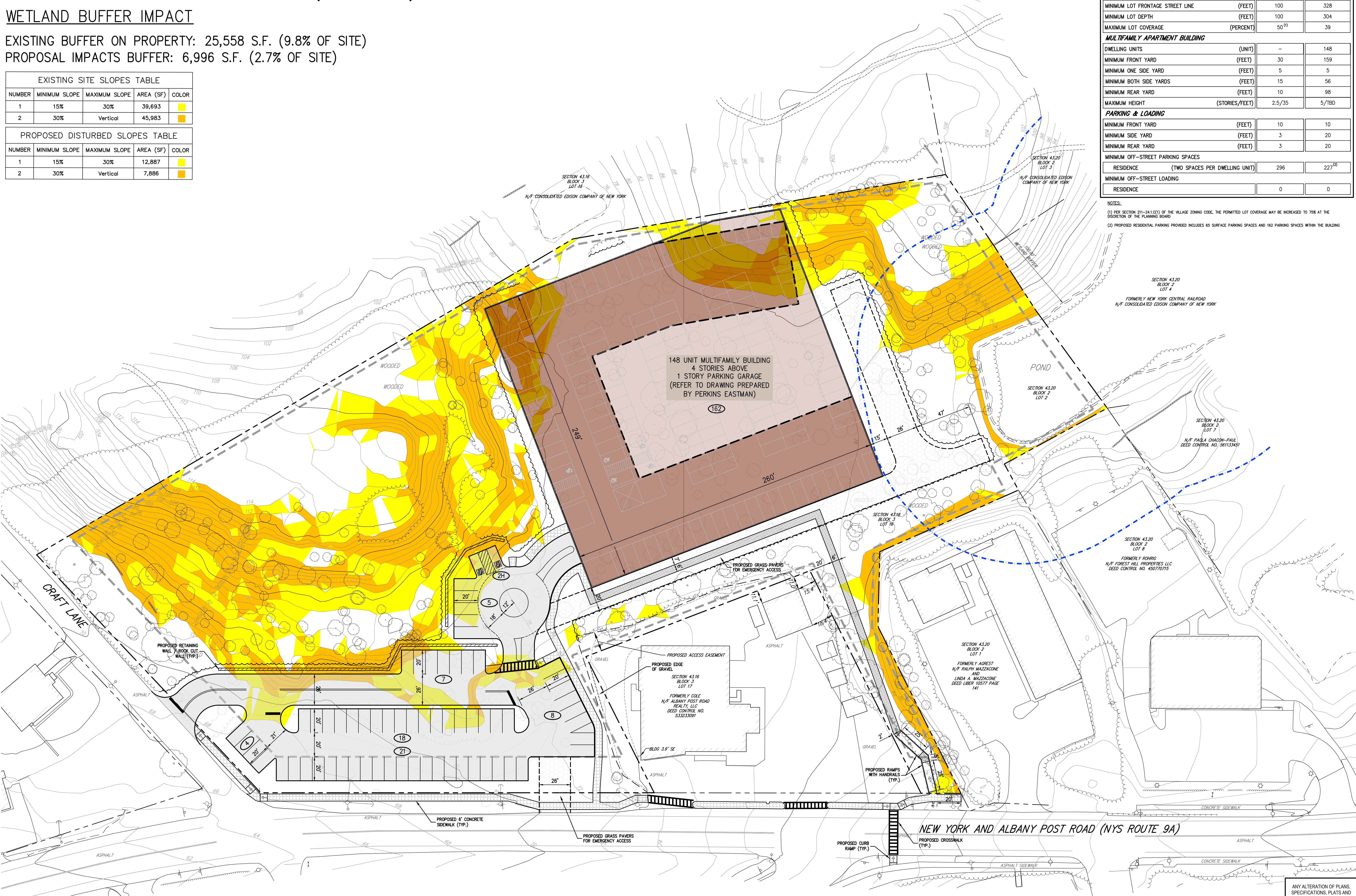
WETLAND BUFFER IMPACT

EXISTING BUFFER ON PROPERTY: 25,558 S.F. (9.8% OF SITE)
 PROPOSAL IMPACTS BUFFER: 6,996 S.F. (2.7% OF SITE)

EXISTING SITE SLOPES TABLE				
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	AREA (SF)	COLOR
1	15%	30%	39,693	Yellow
2	30%	Vertical	45,983	Orange

PROPOSED DISTURBED SLOPES TABLE				
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	AREA (SF)	COLOR
1	15%	30%	12,887	Yellow
2	30%	Vertical	7,886	Orange

TABLE OF LAND USE			
ZONE "C-2 OVERLAY DISTRICT" - "GENERAL COMMERCIAL OVERLAY DISTRICT"			
PROPOSED USE: MULTIFAMILY APARTMENT BUILDING & RETAIL			
DESCRIPTION	REQUIRED / PERMITTED	PROVIDED	
REGULATION			
MINIMUM LOT AREA (SQUARE FEET)	20,000	259,667	
MINIMUM LOT WIDTH (FEET)	100	328	
MINIMUM LOT FRONTAGE STREET LINE (FEET)	100	328	
MINIMUM LOT DEPTH (FEET)	100	304	
MAXIMUM LOT COVERAGE (PERCENT)	50 ⁽¹⁾	39	
MULTIFAMILY APARTMENT BUILDING			
DWELLING UNITS (UNIT)	-	148	
MINIMUM FRONT YARD (FEET)	30	159	
MINIMUM ONE SIDE YARD (FEET)	5	5	
MINIMUM BOTH SIDE YARDS (FEET)	15	56	
MINIMUM REAR YARD (FEET)	10	98	
MAXIMUM HEIGHT (STORIES/FEET)	2.5/35	5/TBD	
PARKING & LOADING			
MINIMUM FRONT YARD (FEET)	10	10	
MINIMUM SIDE YARD (FEET)	3	20	
MINIMUM REAR YARD (FEET)	3	20	
MINIMUM OFF-STREET PARKING SPACES			
RESIDENCE (TWO SPACES PER DWELLING UNIT)	296	227 ⁽²⁾	
MINIMUM OFF-STREET LOADING			
RESIDENCE	0	0	



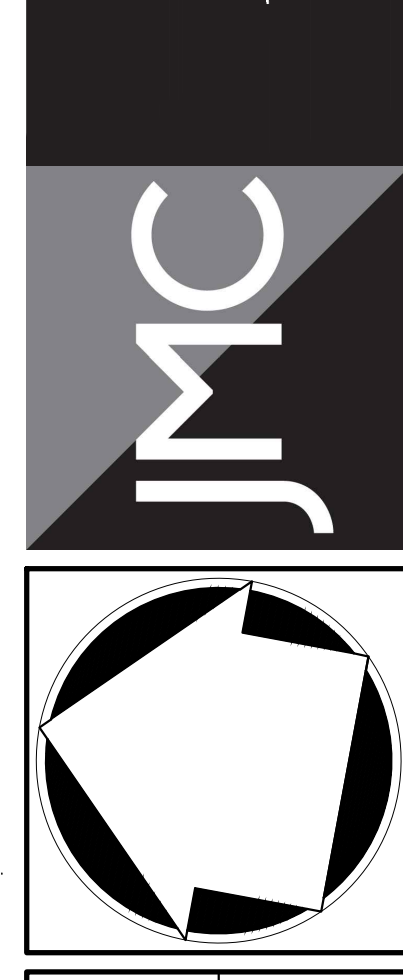
NOTES:
 (1) PER SECTION 211-24.1(1) OF THE VILLAGE ZONING CODE, THE PERMITTED LOT COVERAGE MAY BE INCREASED TO 75% AT THE DISCRETION OF THE PLANNING BOARD.
 (2) PROPOSED RESIDENTIAL PARKING PROVIDED INCLUDES 65 SURFACE PARKING SPACES AND 162 PARKING SPACES WITHIN THE BUILDING

No.	Revision	Date	By
1.	UPDATED PER TREE SURVEY	02/10/2023	EJK
2.	REVISED BUILDING FOOTPRINT	03/10/2023	EJK
3.	REVISED PER VILLAGE COMMENTS	04/07/2023	EJK

APPLICANT/OWNER: **AMS ACQUISITIONS**
 ONE BRIDGE PLAZA NORTH, SUITE 640
 FORT LEE, NJ 07024

ARCHITECT: **PERKINS EASTMAN**
 677 WASHINGTON BOULEVARD, SUITE 101
 STAMFORD, CT 06901

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Mayer Consulting, Inc.
 120 BEDFORD ROAD • BRIDGEVIEW, NY 10504
 voice 914.273.5225 • fax 914.273.2192
 www.jmcplic.com



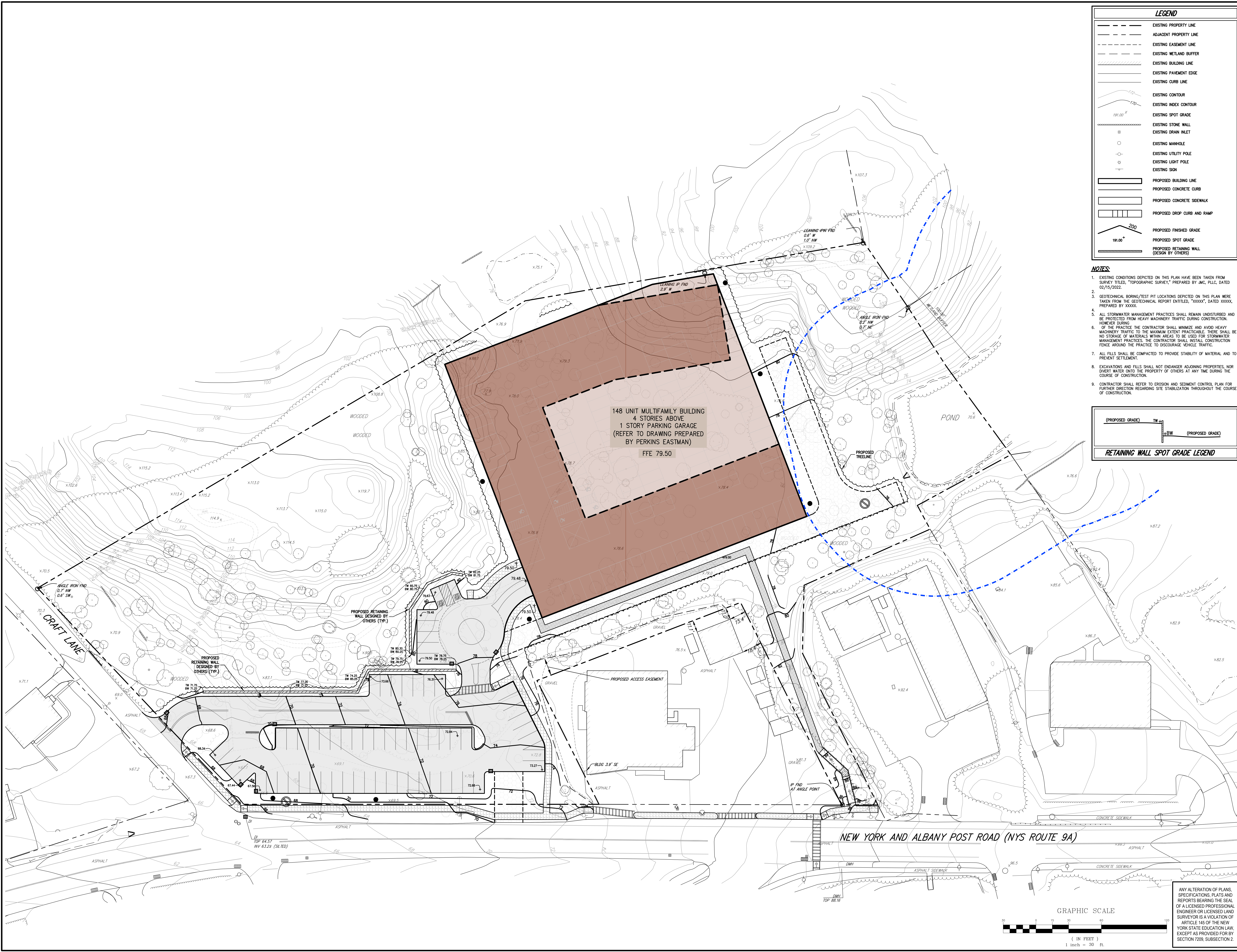
CONCEPTUAL SITE PLAN
 PROPOSED MULTI-FAMILY DEVELOPMENT
 3119 ALBANY POST ROAD
 BUCHANAN, NEW YORK

Drawn: EJK	Approved: AN
Scale: 1" = 30'	
Date: 11/28/2022	
Project No: 22062	
2002-CSP-3	STUDY LS-LAYOUT
Drawing No:	CSP-7

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

NOT FOR CONSTRUCTION

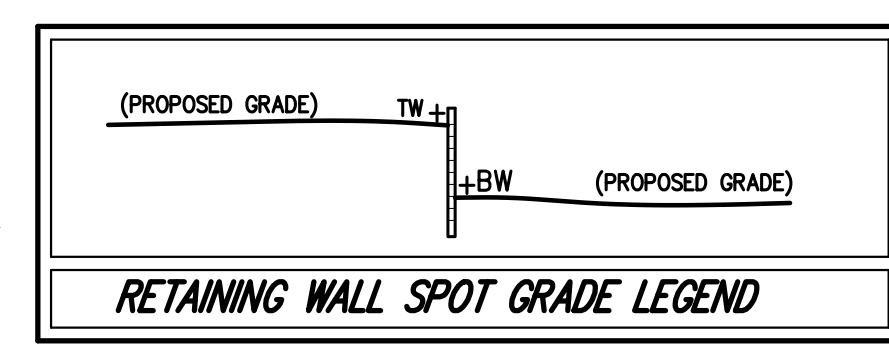
NOT FOR CONSTRUCTION



LEGEND

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	EXISTING WETLAND BUFFER
[Symbol]	EXISTING BUILDING LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING INDEX CONTOUR
[Symbol]	EXISTING SPOT GRADE
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING DRAIN INLET
[Symbol]	EXISTING MANHOLE
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED BUILDING LINE
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED DROP CURB AND RAMP
[Symbol]	PROPOSED FINISHED GRADE
[Symbol]	PROPOSED SPOT GRADE
[Symbol]	PROPOSED RETAINING WALL (DESIGN BY OTHERS)

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY," PREPARED BY JMC, PLLC, DATED 02/15/2022.
 - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOLOGICAL REPORT ENTITLED, "XXXXX," DATED XXXXX, PREPARED BY XXXXX.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 - EXCAVATIONS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS AT ANY TIME DURING THE COURSE OF CONSTRUCTION.
 - CONTRACTOR SHALL REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR FURTHER DIRECTION REGARDING SITE STABILIZATION THROUGHOUT THE COURSE OF CONSTRUCTION.

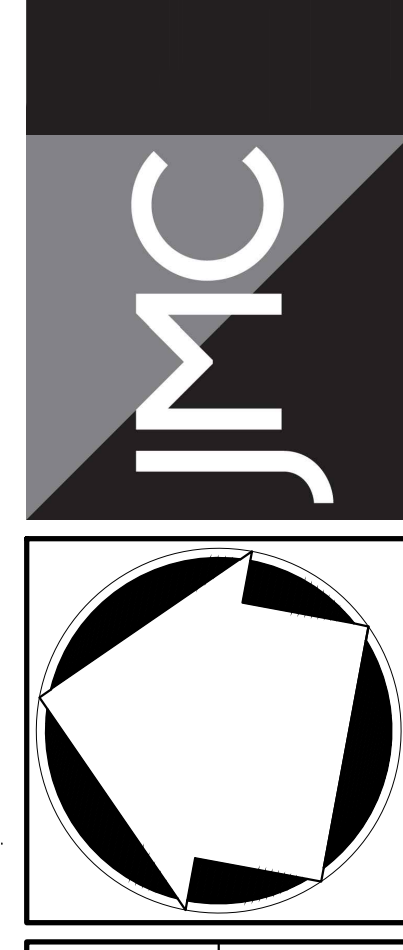


No.	1.	2.	3.
Date	02/10/2023	03/10/2023	04/07/2023
Revision	1. UPDATED PER TREE SURVEY	2. UPDATED BUILDING FOOTPRINT	3. REVISED PER VILLAGE COMMENTS

APPLICANT/OWNER: **AMS ACQUISITIONS**
 ONE BRIDGE PLAZA NORTH, SUITE 840
 FORT LEE, NJ 07024

ARCHITECT: **PERKINS EASTMAN**
 677 WASHINGTON BOULEVARD, SUITE 101
 STAMFORD, CT 06903

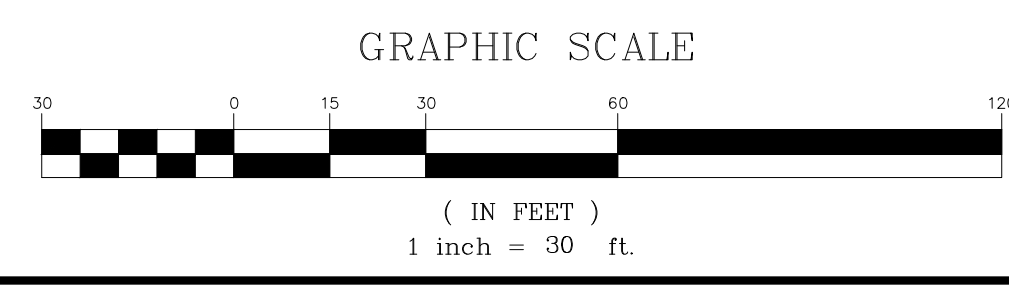
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Mayer Consulting, Inc.
 120 BEDFORD ROAD • BRIDGEMAN, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcplic.com



PRELIMINARY GRADING STUDY
MULTI-FAMILY DEVELOPMENT
 3119 ALBANY POST ROAD
 BUCHANAN, NEW YORK

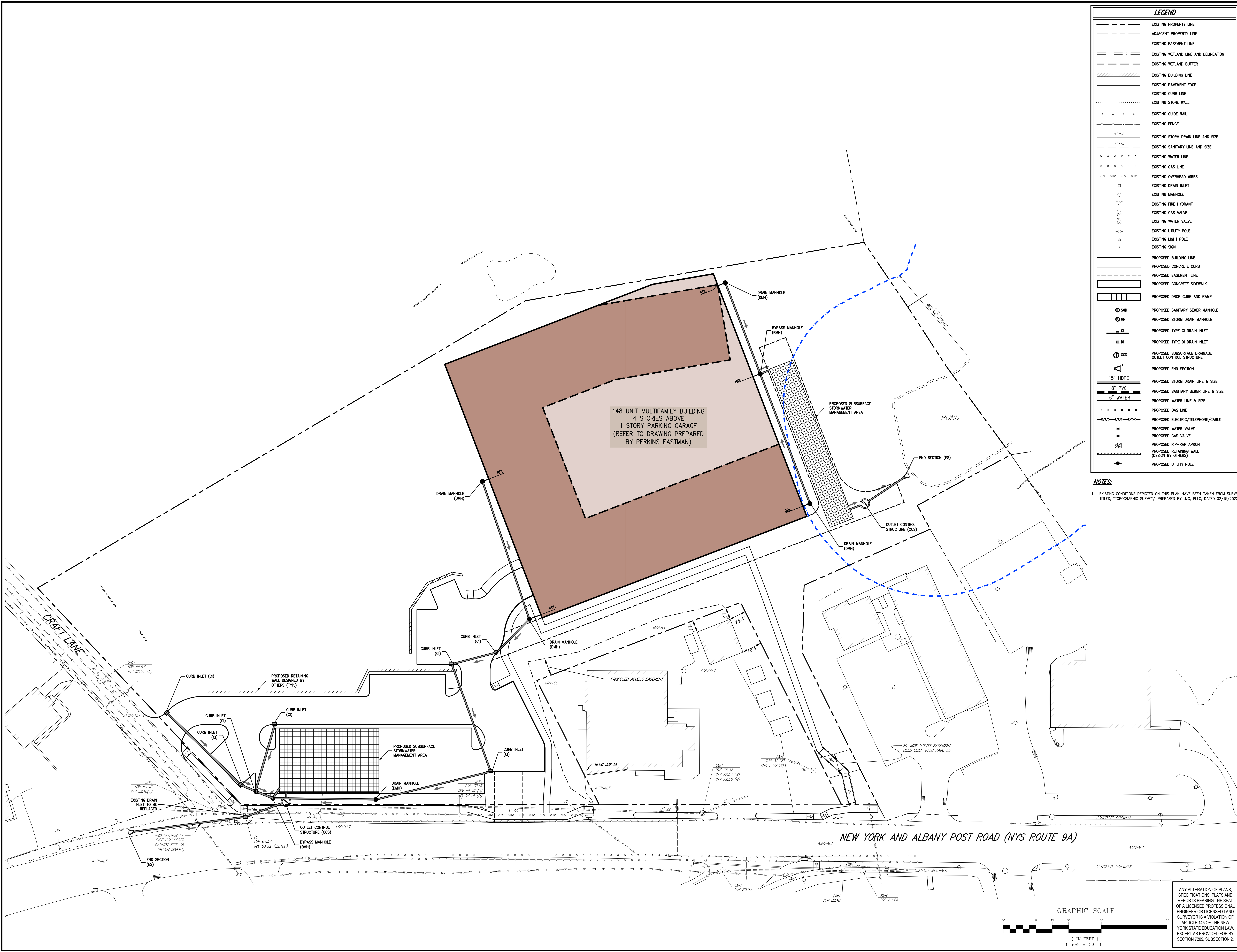
Drawn	EGK	Approved	AN
Scale	1" = 30'		
Date	12/07/2022		
Project No.	22062		
2002-C99-7	GRAD	GRAD	GRAD
Drawing No.	PG-7		

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



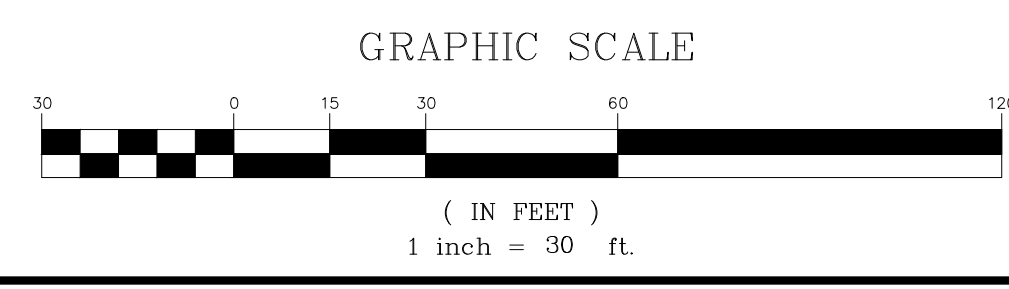
Copyright © 2022 by JMC. All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JMC. This drawing is the property of JMC and is not to be used for any other project without the prior written permission of JMC.

NOT FOR CONSTRUCTION



LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING WETLAND BUFFER
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED EASEMENT LINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
	PROPOSED END SECTION
	PROPOSED STORM DRAIN LINE & SIZE
	PROPOSED SANITARY SEWER LINE & SIZE
	PROPOSED WATER LINE & SIZE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC/TELEPHONE/CABLE
	PROPOSED WATER VALVE
	PROPOSED GAS VALVE
	PROPOSED RIP-RAP APRON
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED UTILITY POLE

NOTES:
 1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY," PREPARED BY JMC, PLLC, DATED 02/15/2022.



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

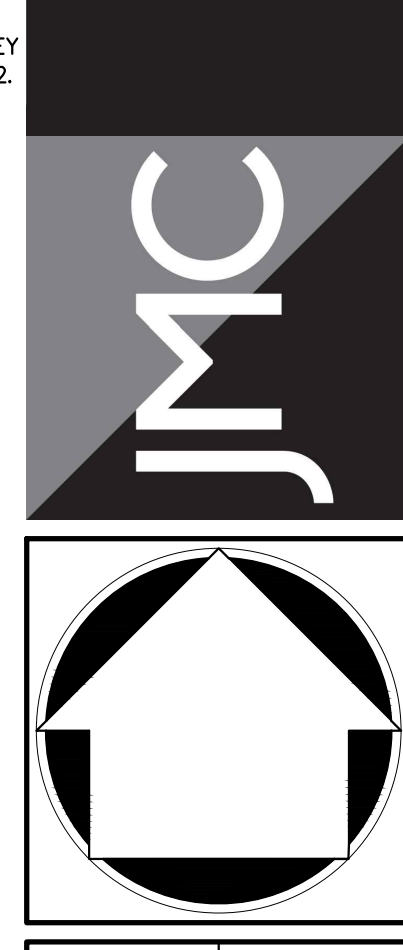
No.	
Revision	
Date	

APPLICANT/OWNER: **AMS ACQUISITIONS**
 ONE BRIDGE PLAZA NORTH, SUITE 840
 FORT LEE, NJ 07024

ARCHITECT: **PERKINS EASTMAN**
 677 WASHINGTON BOULEVARD, SUITE 101
 STAMFORD, CT 06901

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Mayer Consulting, Inc.

120 BEDFORD ROAD • BRITAIN, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcpic.com



PRELIMINARY UTILITIES STUDY
 MULTI-FAMILY DEVELOPMENT
 3119 ALBANY POST ROAD
 BUCHANAN, NEW YORK

Drawn:	EKG	Approved:	AN
Scale:	1" = 30'		
Date:	04/07/2023		
Project No:	22062		
2002-C99-7	UTIL	UTIL	
Drawing No:	PU-7		



Site Planning
 Civil Engineering
 Landscape Architecture
 Land Surveying
 Transportation Engineering

Environmental Studies
 Entitlements
 Construction Services
 3D Visualization
 Laser Scanning

MEMORANDUM

DATE: April 3, 2023

TO: George E. Pommer, PE, James J. Hahn Engineering

ALSO TO: David Smith, Planning & Development Advisors
 Marcus Serrano, Village of Buchanan

FROM: Kevin Masciovecchio PE, JMC

RE: JMC Project 22062
 Proposed Development
 3119 Albany Post Road
 Village of Buchanan, NY

SUBJECT: **Projected Water Demand and Sanitary Sewer Flow**

This Memorandum has been prepared to indicate the projected water demand and sanitary sewer flow associated with the proposed development located at 3119 Albany Post Road. The project proposes a 148 unit multifamily building and the Village has requested the consideration of a 2,000 square foot commercial building on the site. All proposed dwelling units were considered to be two-bedroom units which equates to 296 total bedrooms for the proposed multifamily building.

The projected sanitary sewer flow is based on the NYSDEC report titled, “NYS Design Standards for Intermediate Sized Wastewater Treatment Systems”, dated 3/5/2014. The projected water demand for the project is anticipated to be equivalent to the sanitary sewer flow. A summary of the projected water demand and sanitary sewer flow for the development is prepared below:

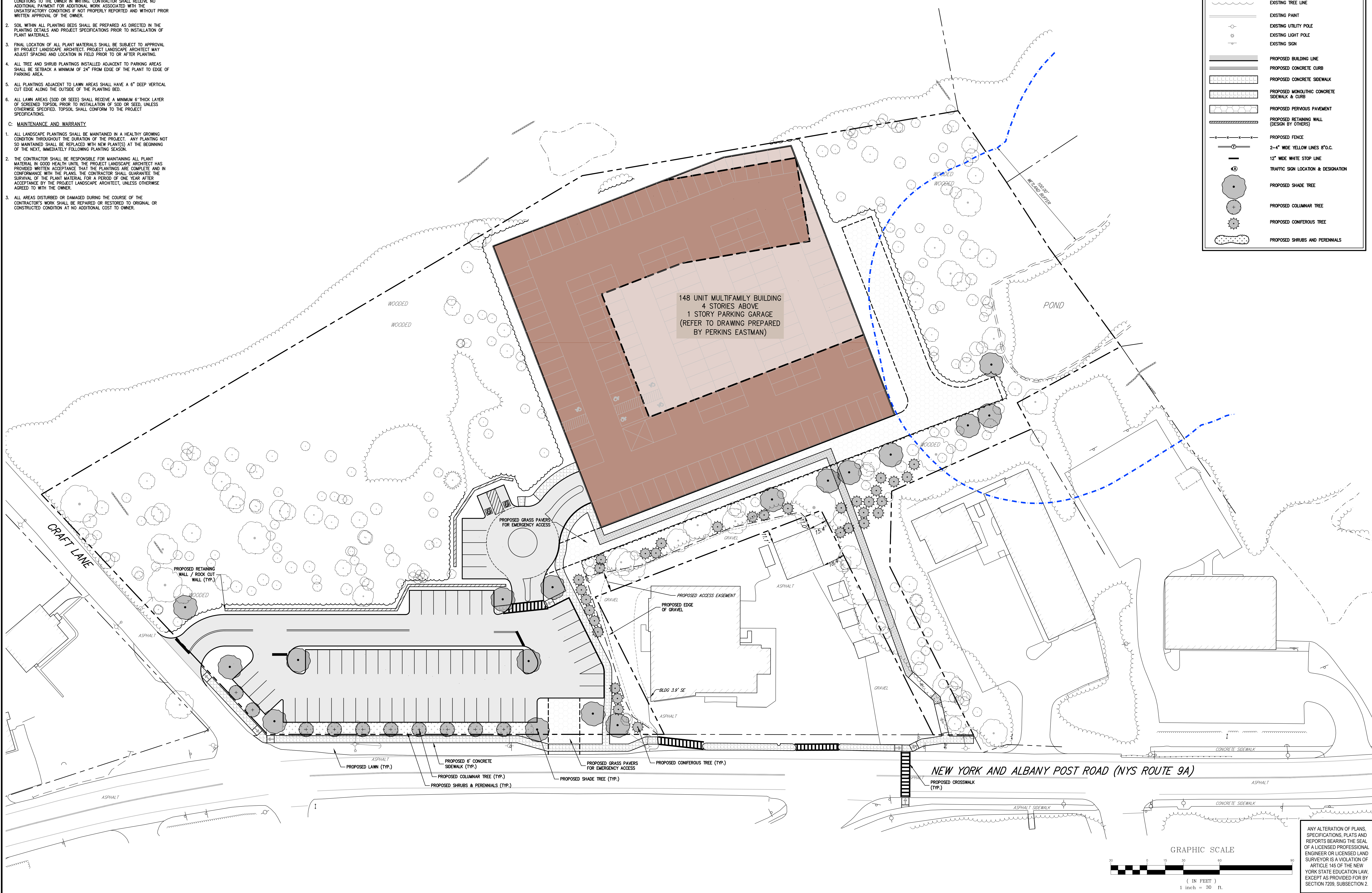
Description	Gallons per day	Total
296 Bedroom Apartment	110 per Bedroom	32,560 gal / day
2,000 s.f. Commercial (Shopping Center)	0.1 per s.f.	200 gal / day
Total		32,760 gal / day
Average Daily Flow		1,365 gal / hour
Peak Flow (Avg. Daily Flow x PF) [Peak Factor (PF) = 4]		5,460 gal / hour
Peak Flow		0.20 cfs

p:\2022\22062\admin\mepommer_2023-04-03.docx

NOTES:

- A: PLANT MATERIAL**
- ALL PLANT MATERIAL SHALL BE NATIVE PLANT SPECIES AS SPECIFIED ON THE PLANS.
 - PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
 - ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 - ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANWHOLE (ANSI Z60.1), LATEST EDITION.
 - PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
 - ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
- B: SITE PREPARATION AND PLANTING**
- CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
 - SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
 - FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
 - ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO PARKING AREAS SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF PARKING AREA.
 - ALL PLANTINGS ADJACENT TO LAWN AREAS SHALL HAVE A 6" DEEP VERTICAL CUT EDGE ALONG THE OUTSIDE OF THE PLANTING BED.
 - ALL LAWN AREAS (SOD OR SEED) SHALL RECEIVE A MINIMUM 6" TRACK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SOD OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
- C: MAINTENANCE AND WARRANTY**
- ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANT(S) AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
 - ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING TREE
	EXISTING TREE LINE
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	PROPOSED PERVIOUS PAVEMENT (DESIGN BY OTHERS)
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED FENCE
	2-4" WIDE YELLOW LINES 8" O.C.
	12" WIDE WHITE STOP LINE
	TRAFFIC SIGN LOCATION & DESIGNATION
	PROPOSED SHADE TREE
	PROPOSED COLUMNAR TREE
	PROPOSED CONIFEROUS TREE
	PROPOSED SHRUBS AND PERENNIALS

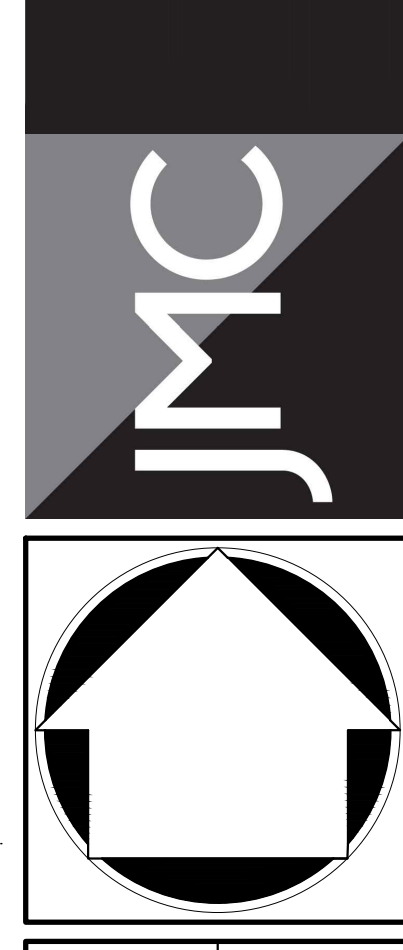


No.	Revision	Date	By
1.	REVISED PER VILLAGE COMMENTS	04/07/2023	EJK

APPLICATION OWNER: **AMS ACQUISITIONS**
 ONE BRIDGE PLAZA NORTH, SUITE 840
 FORT LEE, NJ 07024

ARCHITECT: **PERKINS EASTMAN**
 677 WASHINGTON BOULEVARD, SUITE 101
 STAMFORD, CT 06901

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD • BATHINGEN, NY 10514
 voice 914.273.5225 • fax 914.273.2102
 www.jmcpllc.com

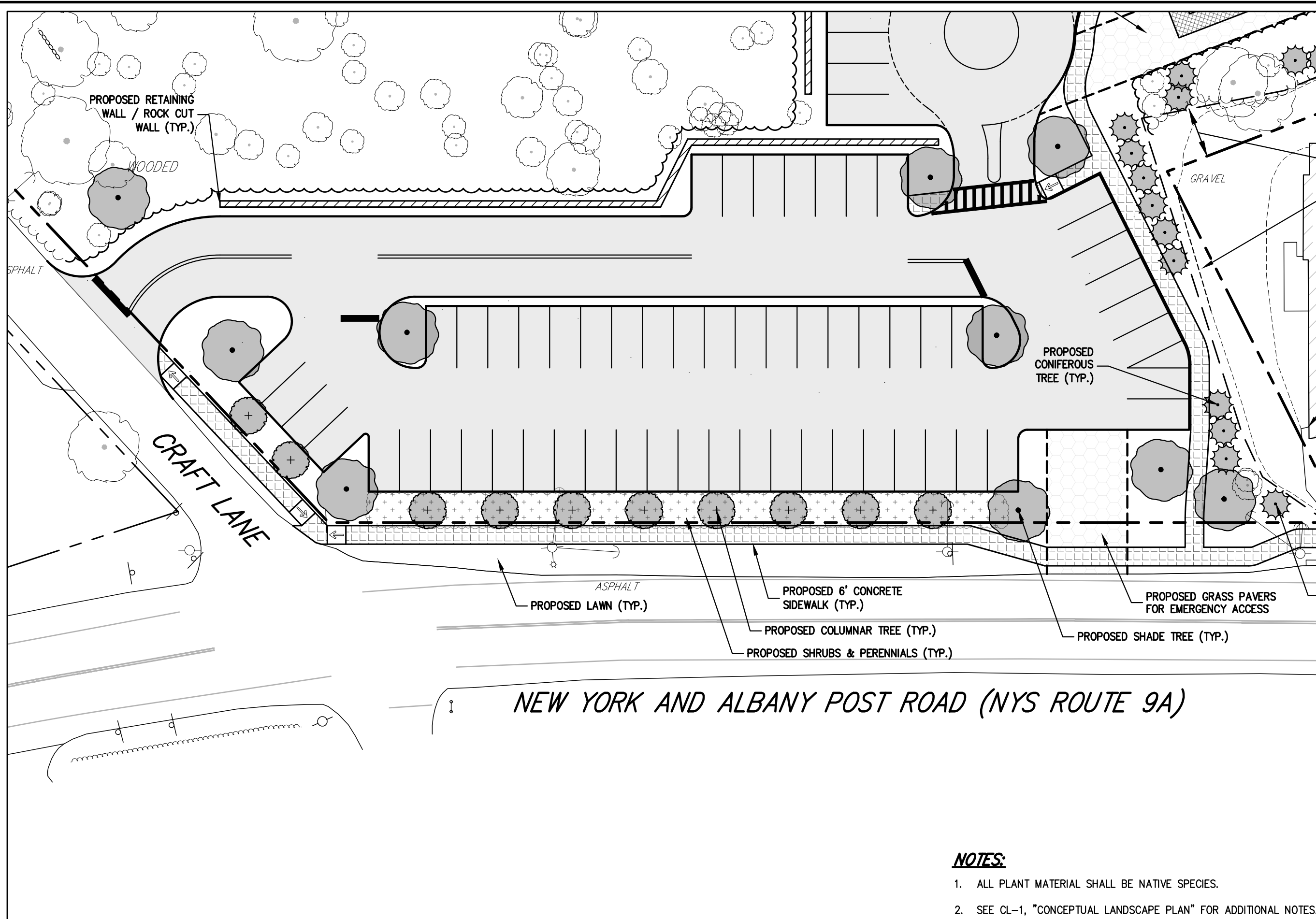


CONCEPTUAL LANDSCAPING PLAN
MULTI-FAMILY DEVELOPMENT
 3119 ALBANY POST ROAD
 BUCHANAN, NEW YORK

Client:	EJK	Approved:	AN
Scale:	1" = 30'		
Date:	03/10/2023		
Project No:	22062		
2002-LMD	LMD	LMD	sr
Drawing No:	CL-1		

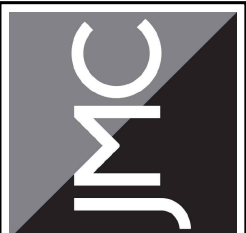
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

NOT FOR CONSTRUCTION

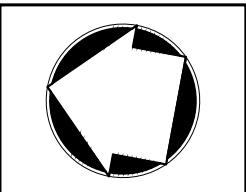


NOTES:

1. ALL PLANT MATERIAL SHALL BE NATIVE SPECIES.
2. SEE CL-1, "CONCEPTUAL LANDSCAPE PLAN" FOR ADDITIONAL NOTES.



120 BEDFORD RD
ARMONK
NY 10604
(914) 273-5225
fax 273-2102
JMCPLLC.COM

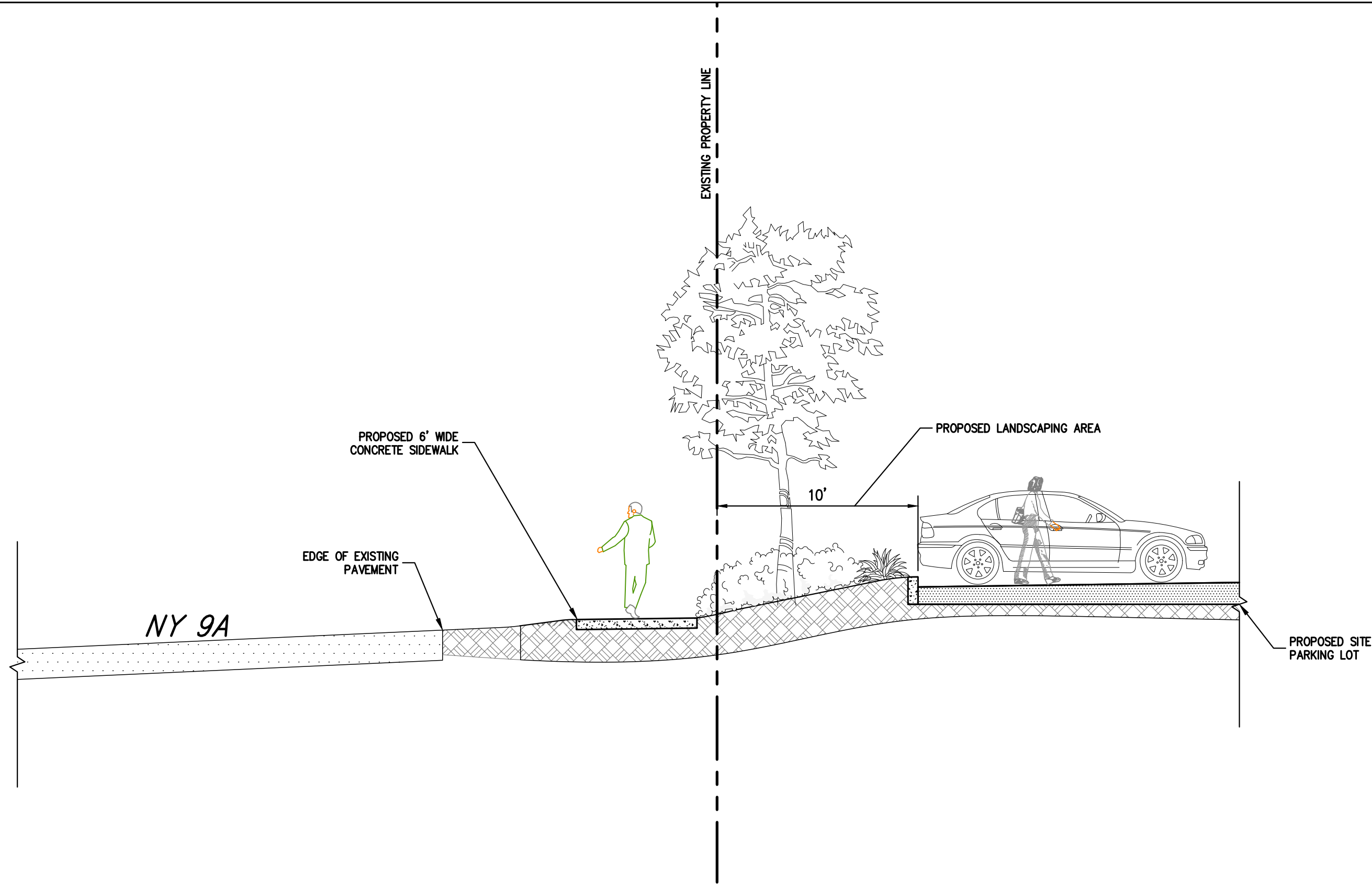


BUCHANAN, NEW YORK
JMC PROJECT: 22062
SCALE: 1" = 30'

MULTI-FAMILY DEVELOPMENT
CONCEPTUAL LANDSCAPING EXHIBIT

3119 ALBANY POST ROAD
REVISID: 04/07/2023
DATE: 03/10/2023
FIGURE: CL-1

COPYRIGHT © 2022 by JMC All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical, photocopying, recording or otherwise, without the prior written permission of JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC | JMC SITE DEVELOPMENT CONSULTANTS, LLC | JOHN MEYER CONSULTING, INC. (JMC). Any modifications or alterations to this document without the written permission of JMC shall render them invalid and unusable.
22062-LAND.dwg; EXHIBIT.tab



SCALE:
 HORIZONTAL SCALE: 1" = 5'
 VERTICAL SCALE: 1" = 5'

JMC
 120 BEDFORD RD
 ARMONK
 NY 10604
 (914) 273-5225
 fax: 273-2102
 JMCPLLC.COM

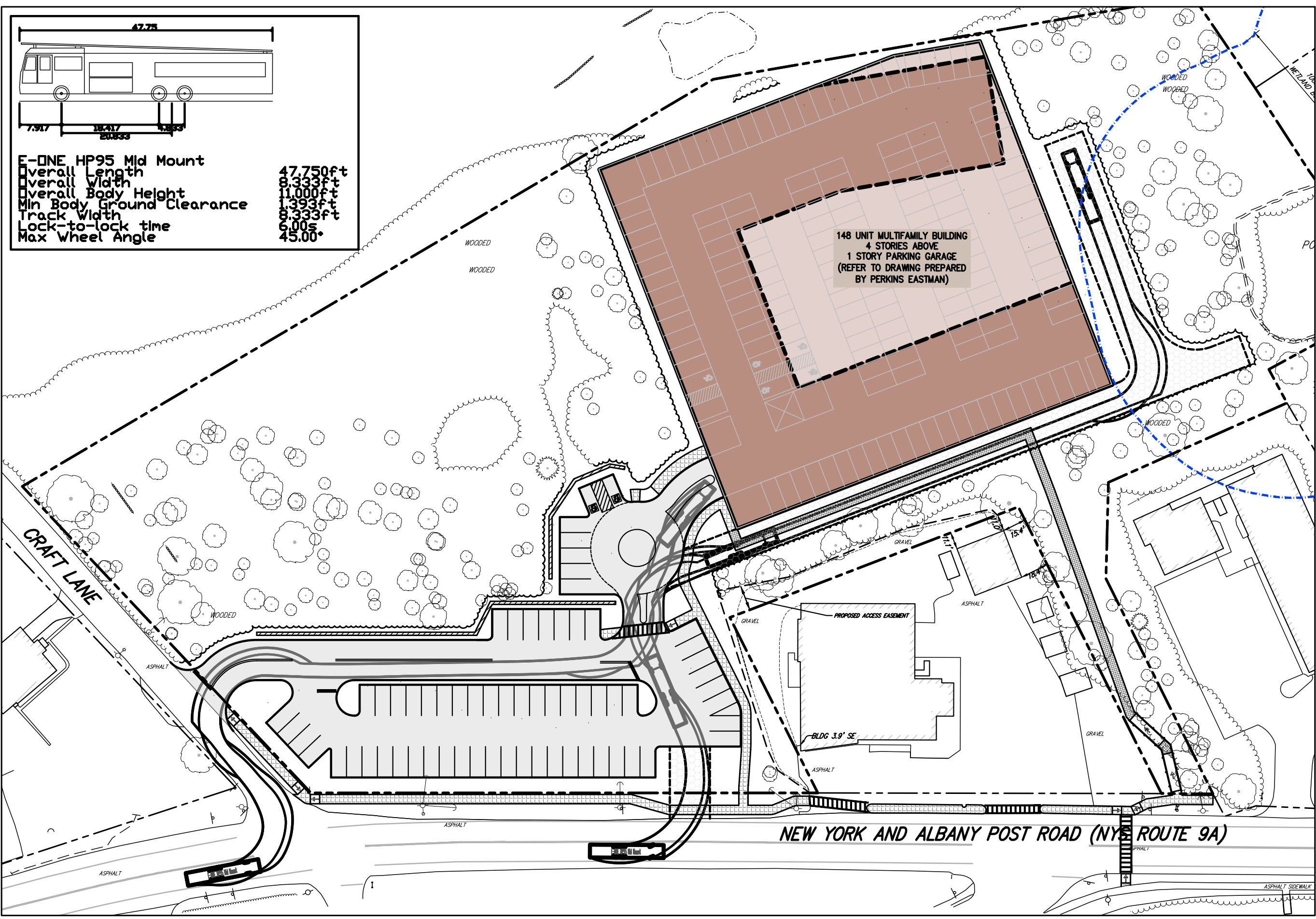
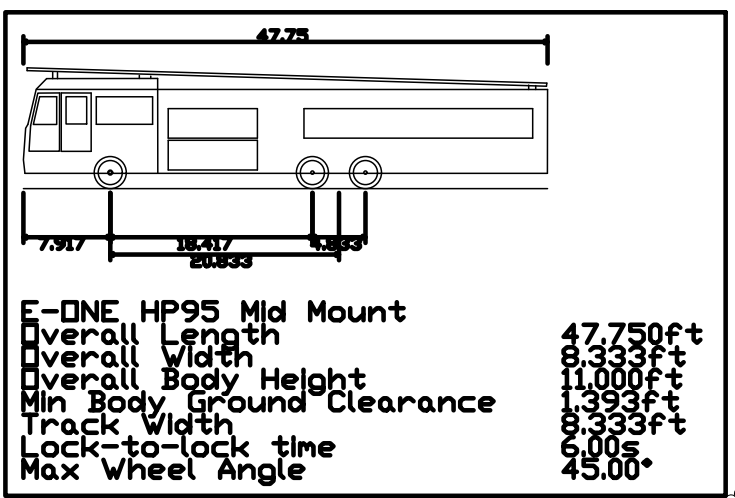


BUCHANAN, NEW YORK
 JMC PROJECT: 22062

MULTI-FAMILY DEVELOPMENT
 CONCEPTUAL LANDSCAPING SECTION

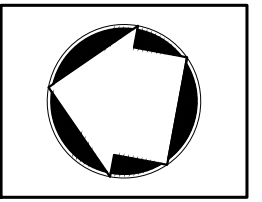
3119 ALBANY POST ROAD
 REVISIED: 04/07/2023
 DATE: 03/10/2023
 FIGURE: CL-2

COPYRIGHT © 2022 by JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical, photocopying, recording or otherwise, without the prior written permission of JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC | JMC SITE DEVELOPMENT CONSULTANTS, LLC | JOHN MEYER CONSULTING, INC. (JMC). Any modifications or alterations to this document without the written permission of JMC shall render them invalid and unusable.
 22062-LAND.dwg; SECTION.tab



148 UNIT MULTIFAMILY BUILDING
 4 STORIES ABOVE
 1 STORY PARKING GARAGE
 (REFER TO DRAWING PREPARED
 BY PERKINS EASTMAN)

120 BEDFORD RD
 ARMONK
 NY 10604
 (914) 273-5225
 fax: 273-2102
 JMCPLLC.COM



BUCHANAN, NEW YORK

MULTI-FAMILY DEVELOPMENT

FIRE TRUCK TURNING ANALYSIS

ENTERING SITE FROM DRIVEWAY ON CRAFT LANE & EMERGENCY ACCESS ON NY 9

JMC PROJECT: 22062

3119 ALBANY POST ROAD

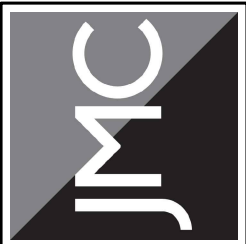
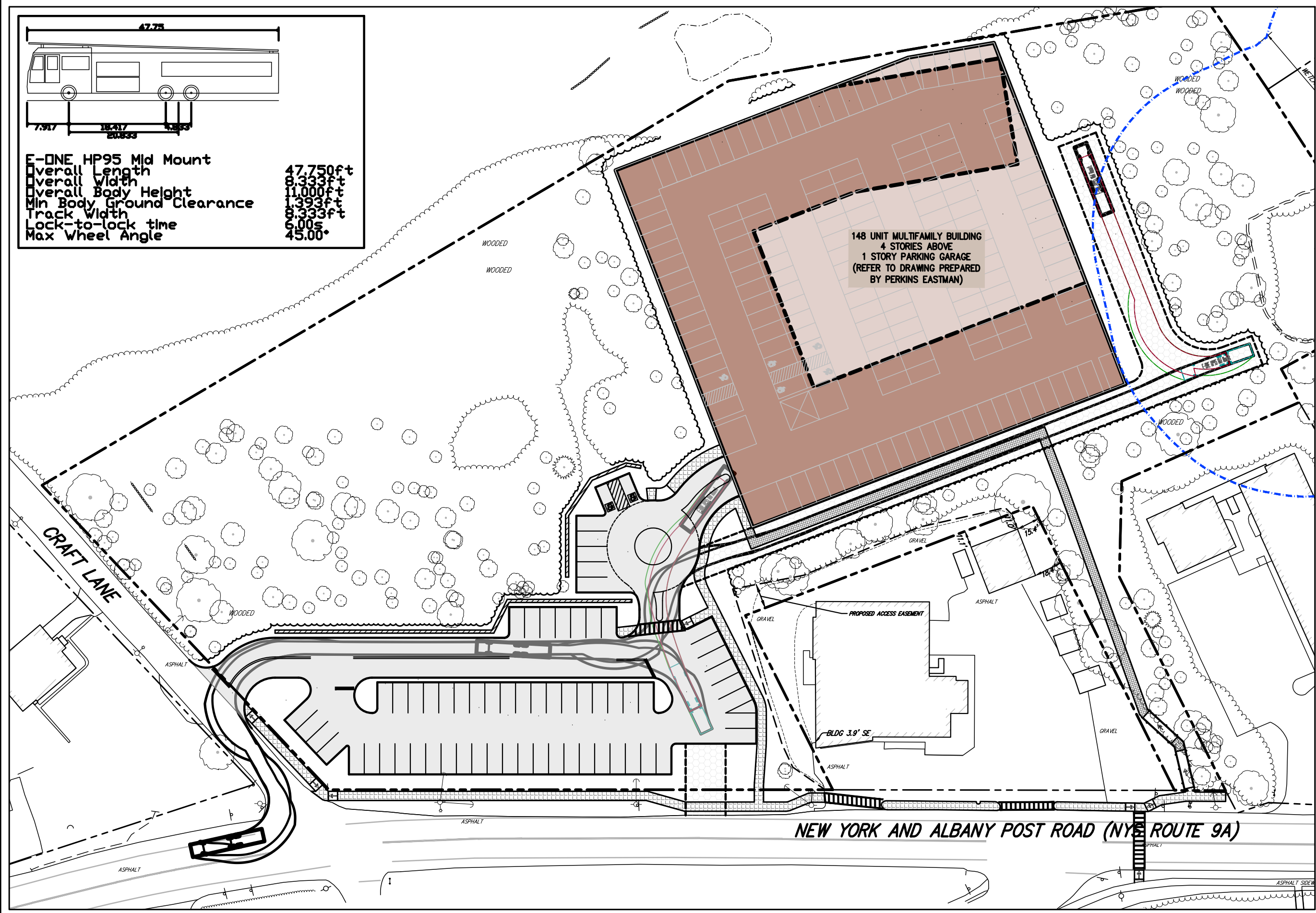
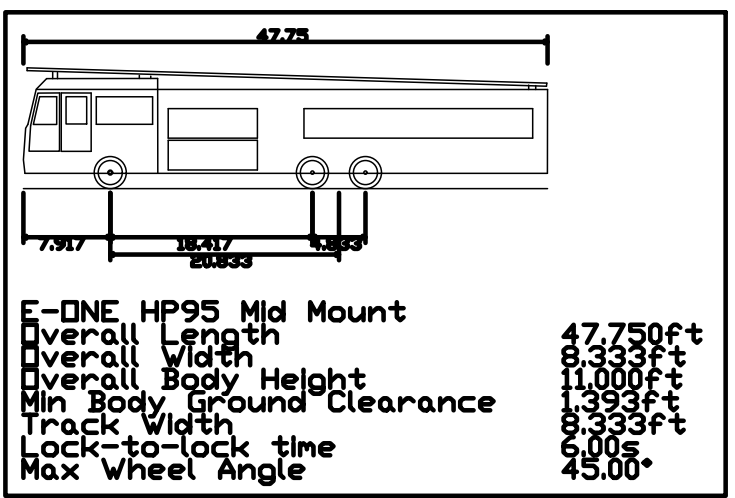
REVISID: 04/07/2023
 DATE: 03/10/2023

FIGURE: TA-1

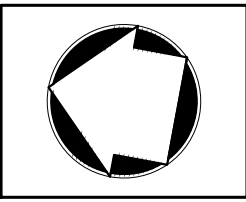
SCALE: 1" = 60'

COPYRIGHT © 2022 by JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical, photocopying, recording or otherwise, without the prior written permission of JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC | JMC SITE DEVELOPMENT CONSULTANTS, LLC | JOHN MEYER CONSULTING, INC. (JMC). Any modifications or alterations to this document without the written permission of JMC shall render them invalid and unusable.

22062-T1201-Ann. EN1ED-1 Tab



120 BEDFORD RD
 ARMONK
 NY 10604
 (914) 273-5225
 fax: 273-2102
 JMCPLLC.COM



BUCHANAN, NEW YORK
 MULTI-FAMILY DEVELOPMENT

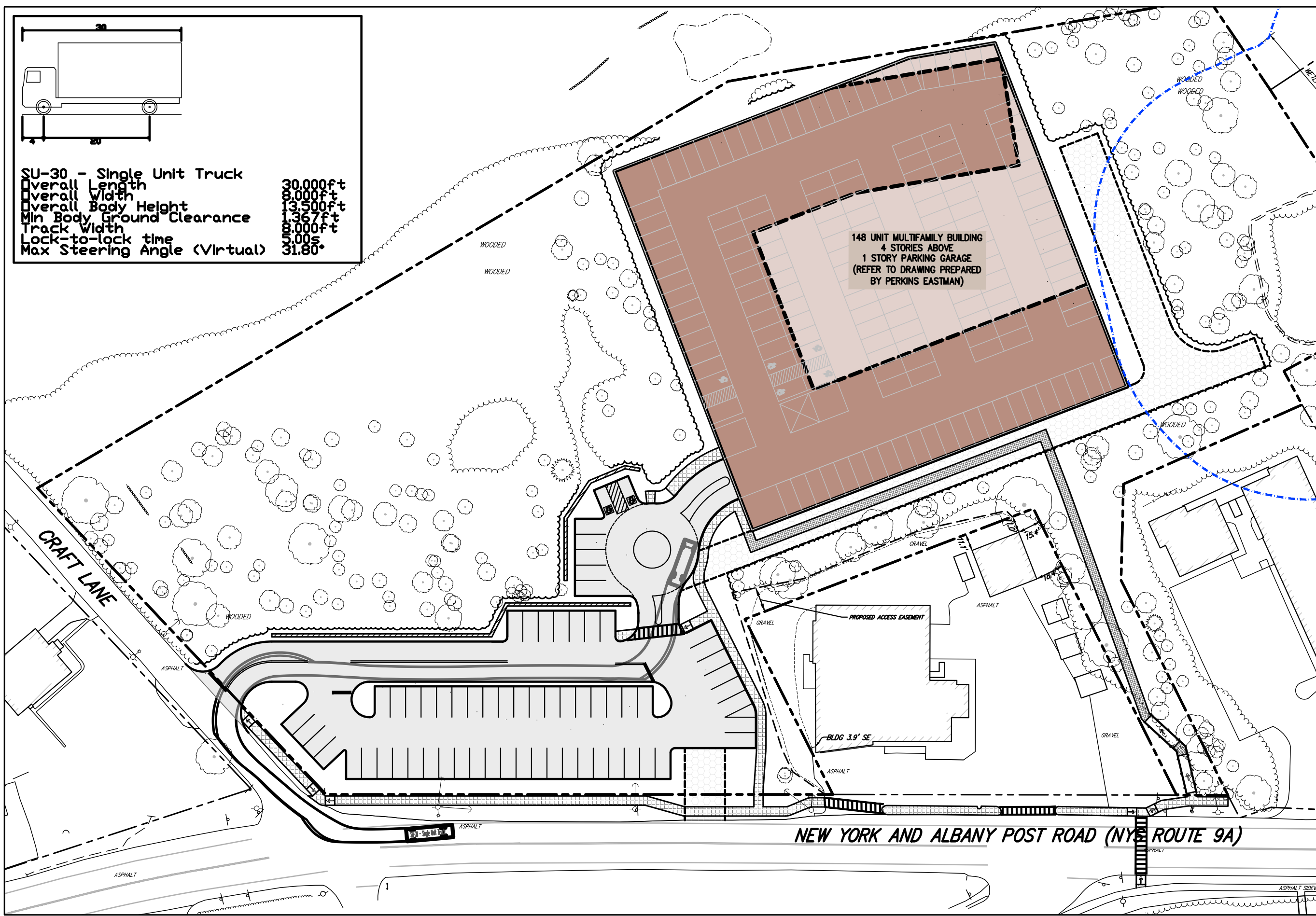
FIRE TRUCK TURNING ANALYSIS
 EXITING SITE

3119 ALBANY POST ROAD
 REVISED: 04/07/2023
 DATE: 03/10/2023
 JMC PROJECT: 22062
 SCALE: 1" = 60'
 FIGURE: TA-2

COPYRIGHT © 2022 by JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical, photocopying, recording or otherwise, without the prior written permission of JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC | JMC SITE DEVELOPMENT CONSULTANTS, LLC | JOHN MEYER CONSULTING, INC. (JMC). Any modifications or alterations to this document without the written permission of JMC shall render them invalid and unusable.
 22062-T1201-Ann. EVIT-Tab

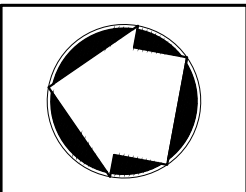
SU-30 - Single Unit Truck

Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	31.80°



JMC

120 BEDFORD RD
 ARMONK
 NY 10604
 (914) 273-5225
 fax: 273-2102
 JMCPLLC.COM



MULTI-FAMILY DEVELOPMENT

BUCHANAN, NEW YORK

DELIVERY / REFUSE TRUCK TURNING ANALYSIS
 ENTERING SITE

JMC PROJECT: 22062

SCALE: 1" = 60'

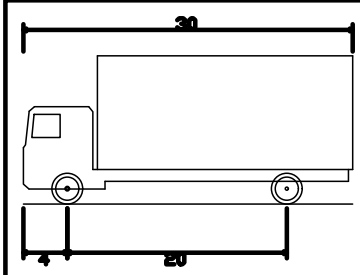
3119 ALBANY POST ROAD

REVISED: 04/07/2023
 DATE: 03/10/2023

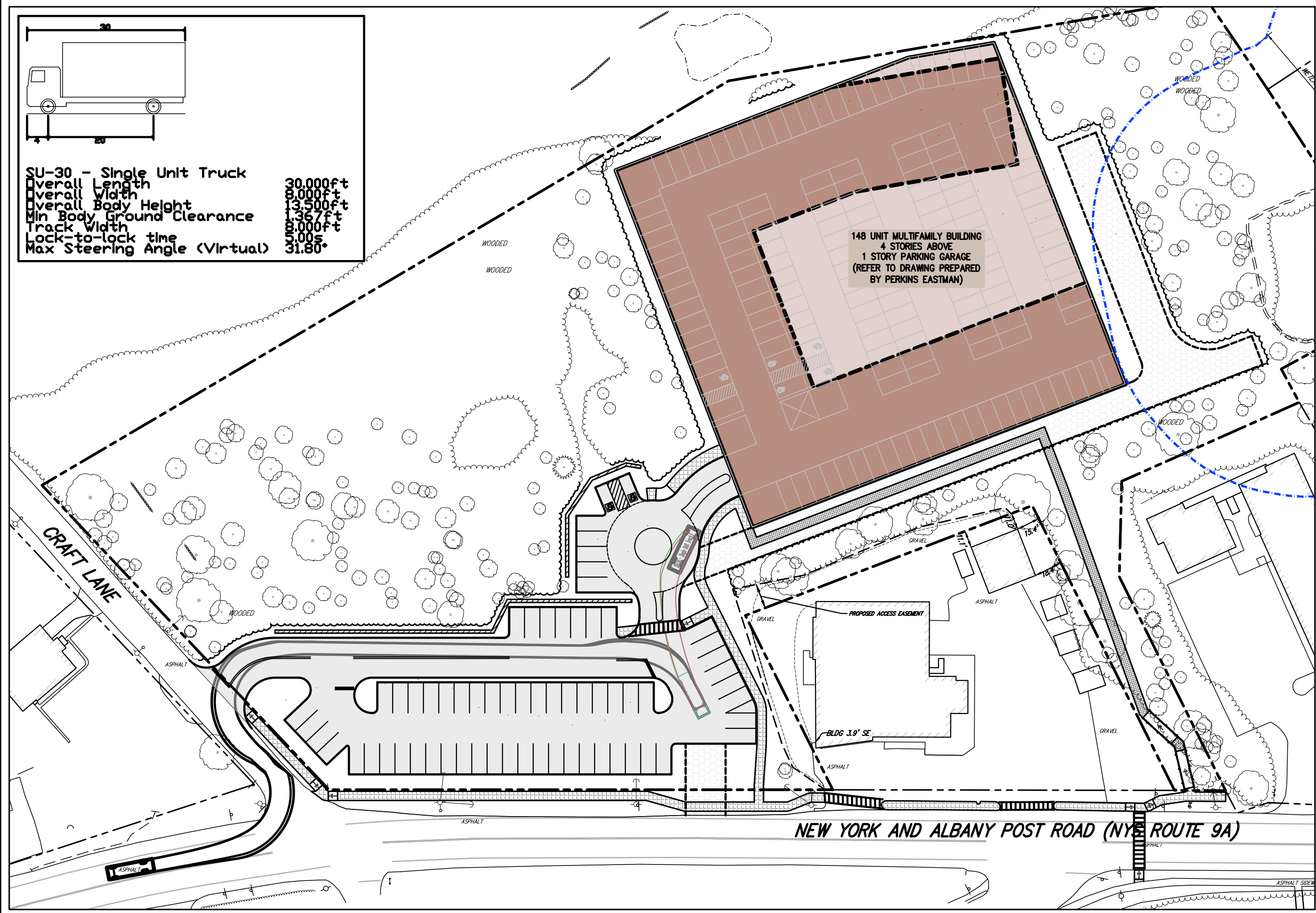
FIGURE: TA-3

COPYRIGHT © 2022 by JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical, photocopying, recording or otherwise, without the prior written permission of JMC PLANNING ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC | JMC SITE DEVELOPMENT CONSULTANTS, LLC | JOHN MEYER CONSULTING, INC. (JMC). Any modifications or alterations to this document without the written permission of JMC shall render them invalid and unusable.

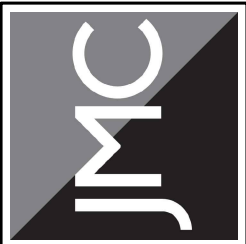
22062-T1201-Ann-DELIVERY-FMT.txd



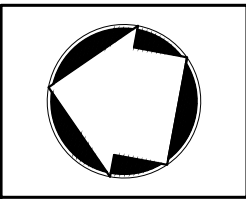
SU-30 - Single Unit Truck	
Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	31.80°



148 UNIT MULTIFAMILY BUILDING
 4 STORIES ABOVE
 1 STORY PARKING GARAGE
 (REFER TO DRAWING PREPARED
 BY PERKINS EASTMAN)



120 BEDFORD RD
 ARMONK
 NY 10604
 (914) 273-5225
 fax: 273-2102
 JMCPLLC.COM



BUCHANAN, NEW YORK

MULTI-FAMILY DEVELOPMENT

DELIVERY / REFUSE TRUCK TURNING ANALYSIS

EXITING SITE

3119 ALBANY POST ROAD

REVISD: 04/07/2023
 DATE: 03/10/2023

JMC PROJECT: 22062

SCALE: 1" = 60'

FIGURE: TA-4

COPYRIGHT © 2022 by JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by means electronic, mechanical, photocopying, recording or otherwise, without the prior written permission of JMC PLANNING ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC | JMC SITE DEVELOPMENT CONSULTANTS, LLC | JOHN MEYER CONSULTING, INC. (JMC). Any modifications or alterations to this document without the written permission of JMC shall render them invalid and unusable.

22062-T1201-Ann. DELIVERY -EVT.txd